

AGENDA
ELKHART CITY PLAN COMMISSION
Monday, October 7, 2024 AT 1:45 P.M.
COUNCIL CHAMBERS – MUNICIPAL BUILDING

THIS MEETING WILL BE HELD ELECTRONICALLY VIA WEBEX.

This meeting can also be accessed via WebEx. To join, go to <https://signin.webex.com/join>, enter **2303 497 4702** as the meeting number, and “**Plan2024**” as the password. Attendees may preregister or enter during the meeting. Comments and questions may be submitted via the WebEx app during the meeting or may be submitted to Carla.Lipsey@coei.org prior to the meeting.

1. **ROLL CALL**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF PROOFS OF PUBLICATION**
4. **APPROVAL OF MINUTES- August 2024**

5. **NEW BUSINESS**

24-Z-06 PETITIONER IS J Arms, LLC c/o Roger Moore

PROPERTY IS LOCATED AT 203 N. Nappanee

Per Section 29.11.B, Map Amendments, a request to rezone 203 N. Nappanee Street (**05-01-427-007**) from R-2, One Family Dwelling District to O, Office District.

24-FSP-05 PETITIONER IS 3220 Southview Drive

PROPERTY IS LOCATED AT 3220 Southview Drive

As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan for up to an additional twenty-seven (27) parking spaces for a proposed veterinary clinic at 3220 Southview Drive.

24-Z-07 PETITIONER IS R B REALTY LLC

PROPERTY IS LOCATED AT 2520 and 2526 Bypass Road

Per Section 29.11.B, Map Amendments, a request to rezone 2520 and 2526 Bypass Road (**05-01-426-007 and 05-01-401-011**) from M-1, Limited Manufacturing District to R-4, Multiple Family Dwelling District.

24-FSP-06 PETITIONER IS A and L Properties Inc. and Kyle Miller Ten Com

PROPERTY IS LOCATED AT Lot 14 of Parkway at 17 – currently vacant

As required by Section 20.7.B seeking approval for a Final Site Plan for a new 27,604 sq. ft. commercial building on Lot 14 of the Parkway at 17 development.

Staff Items

24-SI-07- Addressing

Approval of proposed addresses for the City of Elkhart.

6. **ADJOURNMENT**

PLEASE REMEMBER TO USE YOUR MICROPHONE WHEN SPEAKING.
ERRORS IN THE MINUTES MAY RESULT DUE TO VOICES BEING INAUDIBLE.

PLAN COMMISSION
-MINUTES-
Monday, August 5, 2024 - Commenced at 1:45 P.M. & adjourned at 2:13 P.M.
City Council Chambers – Municipal Building

Elkhart City Plan Commission was called to order by Dave Osborne at 1:45 P.M.

MEMBERS PRESENT

Dave Osborne
Dan Boecher
Diana Lawson
Rochali Newbill
Aaron Mishler 7
Ron Davis

MEMBERS ABSENT

Tory Irwin
Christopher Baiker

REPRESENTING THE PLANNING DEPARTMENT

Eric Trotter, Assistant Director of Planning

LEGAL DEPARTMENT

Maggie Marnocha, Corporation Counsel

RECORDING SECRETARY

Hugo Madrigal-Robles

APPROVAL OF AGENDA

Motion to approve by Mishler. Voice vote carries

APPROVAL OF PROOF OF PUBLICATION

Motion to approve by Osborne; Second by Lawson. Voice vote carries.

OLD BUSINESS

None

The first half of the meeting was inaudible due to a technical error.

NEW BUSINESS

**24-SUB-01 PETITIONER IS HABITAT FOR HUMANITY OF ELKHART COUNTY
PROPERTY IS LOCATED AT 3115 Homer**

Per Article 4 of the Subdivision Ordinance, approval of a Preliminary Plat for a subdivision to be known as ‘Homer Avenue Subdivision,’ a ten (10)-lot subdivision; a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

STAFF ANALYSIS

The petitioner owns a parcel comprising approximately 3.45 acres (including right-of-way) that they wish to develop as a 10-lot subdivision for single-family residences. The property is zoned R-2; single family residences are a permitted use in the R-2 District and have a minimum house size of 950 square feet; in the case of two-story houses the first floor must contain 600 square feet.

The 3.45 acre parcel has an existing single family dwelling. It is currently being rehabilitated for a new client family. The proposed subdivision will incorporate the home as the proposed Lot 6.

The planned layout is to have the road built west from Homer and provide a stub to connect for future development to the north. The retention will be to the west where the street would turn north. The layout will include five-foot sidewalks to facilitate pedestrian use. The plat includes required setbacks that demonstrate that each lot is buildable.

The west boundary of this subdivision is Manning Ditch, which is a county regulated drain. All construction will be outside the required 75' setback. The petitioner is seeking permission to overflow into the ditch for storm water. At the time of the writing of this report – the approval from the Elkhart County Drainage Board was not finalized.

The project meets the requirements of the Zoning and Subdivision Ordinances including lot size, layout, and street width. It has not been submitted yet to the city's Technical Review process but will be required to do so and pass prior to construction.

Staff Recommendation

Per IC 36-7-4-702, a plan commission must consider when determining whether to grant primary/preliminary approval of a plat, the plan commission shall determine if the plat or subdivision qualifies for primary/preliminary approval under the standards prescribed by the subdivision control ordinance.

Under the 700 Series of the Indiana Code Statutes, the review of primary/preliminary plats are ministerial and if the proposed preliminary/primary plat has adhered to all of the requirements prescribed by the subdivision control ordinance, the plan commission must grant approval, thereby,

The City of Elkhart Planning Staff has reviewed the subject petition and recommends **approval** a Preliminary Plat for a subdivision to be known as 'Homer Avenue Subdivision,' a ten (10)-lot subdivision; a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

The lots meet the minimum lot area requirements for the R-2, One-Family Dwelling District;

- 1) All 10 proposed single-family lots meet all of the bulk standards of the R-2 Zoning District, One-Family Dwelling District, specifically, minimum lot size, lot frontage, and property development setbacks;
- 2) In review of the proposed preliminary plat for a new major subdivision, Staff finds the petitioner has demonstrated compliance with all the enacted regulations of both the City of Elkhart Zoning and Subdivision Control Ordinance.

Conditions

The approval is preliminary only. The applicant must submit the required application materials for Final Plat Approval to the Plat Committee as per Article 5 of the Subdivision Ordinance prior to the issuance of any permits for construction or sale of property.

- 1) Subsequent approvals may be required from the appropriate City Departments. Those approvals may include plans for water supply, storm water retention, sewage disposal, grading, roadway construction and other infrastructure prior to final plat approval.
- 2) Approval is tentative and shall be valid for a maximum period of twelve (12) months. The City Plan Commission may grant an extension upon written request. If the final plat has not been recorded within the time limit, the primary approval is null and void and the preliminary subdivision plan must be resubmitted for approval.

- 3) The project must be reviewed and approved through the City's Technical Review process prior to the submission of the final plat to the Plat Committee.

The first half of the meeting was inaudible due to a technical error.

The meeting has resumed and is now audible.

Greg Conrad, 2910 Elkhart Rd Habitat of Humanity of Elkhart County. The petitioner requests approval of a Preliminary Plat for a subdivision to be known as 'Homer Avenue Subdivision,' a ten (10)-lot subdivision; a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

Osborne asks if there are questions from the Commission.

Mishler asked Trotter, Are there any concerns from the parties.

Mishler asked about the number of homes being built.

The petitioner replied that there are a total of 10 homes, with 9 being new. Will serve 26 families.

Davis asked the petitioner if they are in agreement with the staff conditions.

The petitioner responds with a yes.

Osborne asked, Is this a cul-de-sac. I noticed a bulge in the road. Will there be enough room for a car to turn around.

The petitioner responds, We anticipate it will be a big U shape, and that will go back to the other parcel.

Osborne asks if there are questions from the Commission.

Newbill asked the petitioner, What is the average cost of the homes.

The petitioner replied that the size of the home will vary. Most of them will be 3-4 bedroom ranch-style homes. If it's for a larger family, more than a four-bedroom home will be a two-story house. The appraised value of these homes is between \$200,000 and \$230,000.

Osborne calls for a motion.

Mishler makes a motion to **approve** 24-SUB-01 with a Do-Pass Recommendation with listed conditions; Second by Davis. Motion carries

Boecher- Abstain

Misher- Yes

Davis- Yes

Baiker –Yes

Lawson-Yes

Newbill-Yes

Osborne-Yes

24-X-05 PETITIONER IS Elkhart Communtiy School

PROPERTY IS LOCATED AT 2608 California Road

Per Section 4.3, a Special Exception to allow an addition to Elkhart High School. The use is proposed to be a Health and Wellness Center

Staff Analysis

The petitioner is requesting a special exception use for an addition to the existing Elkhart High School for a new health and wellness center. Since the consolidation of the school districts within the City of Elkhart, the school has emphasized a focus of bettering the quality of life for its students. The proposed health and wellness center will provide students with new opportunities for fitness and recreation.

Section 4.3(L) of the Elkhart Zoning ordinance requires a special exception use for high schools and is the reason for this request. The health and wellness center will be located on the northeast corner of the existing school, utilizing 1.73 acres of the existing 32.66 acre site. Given this is an addition to the existing facility and located far from the surrounding residential uses, the value and use of surrounding properties will not be affected by this addition.

Staff recommends approval of this special exception.

Recommendation

Staff recommends **approval** of the request based on the following findings of fact:

1. The Special Exception is so defined, located and proposed to be operated that the public health, safety and welfare **will be** protected as this use provides an essential community service;
2. The Special Exception **will not** reduce the values of other properties in its immediate vicinity because it is a minor change to an already approved use;
3. The Special Exception **shall** conform to the regulations of the zoning district in which it is to be located because it will not generate adverse effects on adjacent properties in the form of noise, smoke, or odor.

Trotter stated that this is not a public meeting, so no letters were mailed.

Osborne calls the petitioner forward.

Andrew Cunningham, JPR 325 S. Lafayette Blvd. The petitioner requests approval of a Special Exception to allow an addition to Elkhart High School. The use is proposed to be a Health and Wellness Center

Mishler asked the petitioner if there was any estimate of how much this is going to cost.

Tony Ganesi, Chief Officer of Elkhart Community School, has stated that the current budget for the project is 5.7 million dollars. The project is currently up for bid, and the bids are expected to be received on August 27th, 2024.

Mishler asked, Is this being paid for by donations

The petitioner states that this is being paid for by a bond.

Mishler asked, Has this already been through the school board

Petitioner replies yes.

Osborne asks if there are questions from the Commission.

Mishler stated, I understand our role in the planning commission to ensure that our regulatory requirements are met, including setbacks. However, as a taxpayer, I feel slightly uncomfortable with a \$5.7 million bond for an athletic facility. We currently have 59 open teacher positions, 17 open paraprofessional positions, and a 2-mile walk zone due to a referendum that didn't quite pass, which I strongly supported. Additionally, our passing rate for Ilearn is only 11.7%. While I appreciate the need to support our athletic activities and I'm proud of our teams' accomplishments, it's difficult for me as a taxpayer to see a \$5.7 million investment in an athletic facility when our school system is already struggling with so many open positions for teachers and other staff.

Osborne opens for public comments in favor or opposition to the petition.

Hearing none, Osborne closes the public portion of the meeting.

Osborne calls for a motion.

Boecher makes a motion to **approve** 24-X-05 with a Do-Pass Recommendation to BZA; Second by Davis. Motion carries

Boecher-Yes
Mishler-No
Davis-Yes
Lawson-Yes
Newbill-Yes
Osborne-Yes

24-X-06 PETITIONER IS Republic Services (Browning Ferris Industries)
PROPERTY IS LOCATED AT 3300 Charlotte Ave.

Section 18.3, Special Exception Uses in the M-1, Limited Manufacturing District, a special exception to allow for the replacement of a 10,000 gallon diesel fuel storage tank.

Staff Analysis

The petitioner operates as a waste removal services provider throughout the City of Elkhart and occupies the subject parcel. Petitioner desires to replace the existing vertical 10,000 gallon above-ground diesel fuel storage tank that was previously approved by Elkhart County before the parcel was annexed into the City. The existing storage tank is approaching its life expectancy and should be replaced. Petitioner intends to replace the existing storage tank with a horizontal, double wall UL142 10,000 gallon above-ground fuel storage tank. The parcel is currently buffered from residential uses to the east (rear of the parcel) by deciduous trees and shrubs.

Permitted uses in the M-1 Limited Manufacturing District include “outside storage of liquids or gases in one or more tanks, where total volume of the tank(s) does not exceed 2000 gallons.” (See Section 18.2.II) Strict adherence to zoning ordinance Section 18.2 would reduce the existing fuel capacity of 10,000 gallons to 2,000 gallons, which would greatly hinder the ability of the service provider to continue its current level of service in the City of Elkhart.

Staff recommends approval of this special exception

Staff Recommendation

Staff recommends **approval** of the request based on the following findings of fact:

1. The Special Exception is so defined, located and proposed to be operated that the public health, safety and welfare **will be** protected;

2. The Special Exception **will not** reduce the values of other properties in its immediate vicinity because it is a minor change to an already approved use;
3. The Special Exception **shall** conform to the regulations of the zoning district in which it is to be located because it will not generate adverse effects on adjacent properties in the form of noise, smoke, or odor.

Osborne asks if there are questions from the Commission.

Osborne calls the petitioner forward.

Heidi Brumback, Hoosier Equipment Svc for Republic 3300 Charlotte Ave. The petitioner requests approval to allow for the replacement of a 10,000 gallon diesel fuel storage tank.

Osborne states. It was mentioned that having a 10,000 gallon tank had reached its lifespan and then install a new tank. The new tank is better than the old one because it has a double wall.

Petitioner replies, Yes, the existing tank is a vertical single wall with a concrete structure. The new tank is a double wall constructed steel tank with double wall protection.

Osborne asked if the area around this tank will be fenced in.

Petitioner responds that a new concrete pad will be constructed for the new tank, and steel concrete bollards will be installed to protect it. The facility will serve 35-40 vehicles for fleet fueling.

Osborne opens for public comments in favor or opposition to the petition.

Hearing none, Osborne closes the public portion of the meeting.

Osborne calls for a motion.

Mishler makes a motion to **approve** 24-X-06 with a Do-Pass Recommendation to BZA; Second by Lawson. Motion carries

Davis-Yes
Boecher-Yes
Lawson-Yes
Mishler-Yes
Newbill-Yes
Osborne-Yes

NEW BUSINESS

STAFF ITEMS

24-SI-04

Addressing

The Planning and Zoning Department is requesting approval of the addresses that have been reserved for structures in the City of Elkhart.

Residential

406 River Pointe Drive – New SFR – 05-12-201-0147

Commercial

1200 S. Nappanee Street – Public Works Plant – 06-07-104-001, 002, 003, 012

Recommendation

Staff recommends that the Plan Commission assign the proposed addresses based on staff recommendation.

Osborne asks if there are questions from the Commission.

Mishler asked Trotter about the public works building that needs to be addressed there.

Trotter replied that the actual plant is located on the east side of Nappanee street. We have discovered that for various reasons, we need to address that side of the street separately due to the permitting process and paperwork requirements. This means we need a separate address for the plant and the office.

Osborne calls for a motion.

Motion to **approve** 24-SI-04 with a Do-Pass Recommendation. Motion carries

Boecher-Yes
Lawson-Yes
Mishler-Yes
Newbill-Yes
Davis-Yes
Osborne-Yes

STAFF ITEMS

24-SI-05

Addressing

Staff Item – Amend 24-PUDA-06
Minor amendment

STAFF ANALYSIS

The petitioner is seeking to amend the approval of the major amendment to the Bent Oak PUD to add two (2) additional lots to the subdivision 23-PUDA-06. The desire is to move the proposed lot, at the intersection of Bent Oak Trail and St. Andrews Place, +/- 32 feet to the south to avoid the drain pipe altogether. The petitioner and engineering staff have had numerous interactions and have agreed to modify the plan and move the proposed away from the pipe altogether.

Recommendation

Staff recommends that the Plan Commission approve the minor amendment to the Bent Oak PUD 23-PUDA-06 to allow the lot, 171A, be moved +/- 32 feet to avoid the drain pipe at the intersection of Bent Oak Trail and St Andrews Place based on the following findings of fact:

1. The modification to move the proposed lot will not change the land area of the PUD;
2. The modification to move the lot will not change the density of the PUD;
3. The modification to move the lot will not allow a use not previously permitted in the PUD

Osborne asks if there are questions from the Commission.

Osborne calls the petitioner forward.

Terry Lang Wightman, 1402 E. Mishawaka Ave, is representing the petitioner. The petitioner is requesting approval to move the proposed lot, which is at the intersection of Bent Oak Trail and St. Andrews Place, approximately 32 feet to the south in order to avoid the drain pipe altogether.

Osborne is asking whether the City's engineering staff has approved this.

Petitioner replies yes.

Osborne calls for a motion.

Motion to **approve** 24-SI-05 with a Do-Pass Recommendation. Motion carries

Mishler- Yes

Boecher-Yes

Newbill-Yes

Lawson-Yes

Davis-Yes

Osborne-Yes

ADJOURNMENT

Osborne calls for a motion to adjourn the meeting. Davis approves motion to adjourn and is seconded by Newbill. Meeting is adjourned and all are in favor.

Tory Irwin, President

Dave Osborne, Vice-President

DRAFT



Staff Report

Planning & Zoning

Petition: 24-Z-06

Petition Type: Rezoning

Date: October 7, 2024

Petitioner: J Arms, LLC

Site Location: 203 N Nappanee Street; Parcel 20-05-01-427-007.000-006

Request: Per Section 29.11.B, Map Amendments, a request to rezone 203 N. Nappanee Street (05-01-427-007) from R-2, One Family Dwelling District to O, Office District.

Parcel I.D. Number(s): 20-05-01-427-007.000-006

Existing Zoning: R-2, One Family Dwelling District

Size: +/- .64 Acres

Thoroughfares: N. Nappanee Street

School District: Elkhart Community Schools

Utilities: Available to site

Surrounding Land Use & Zoning:

The property is located amongst a mix of medical office uses zoned O, Office District with O, Office and R-2, One Family Dwelling District zoning and uses to the east across Nappanee Street. The land to the west is the school zoned R-2, One Family Dwelling District.

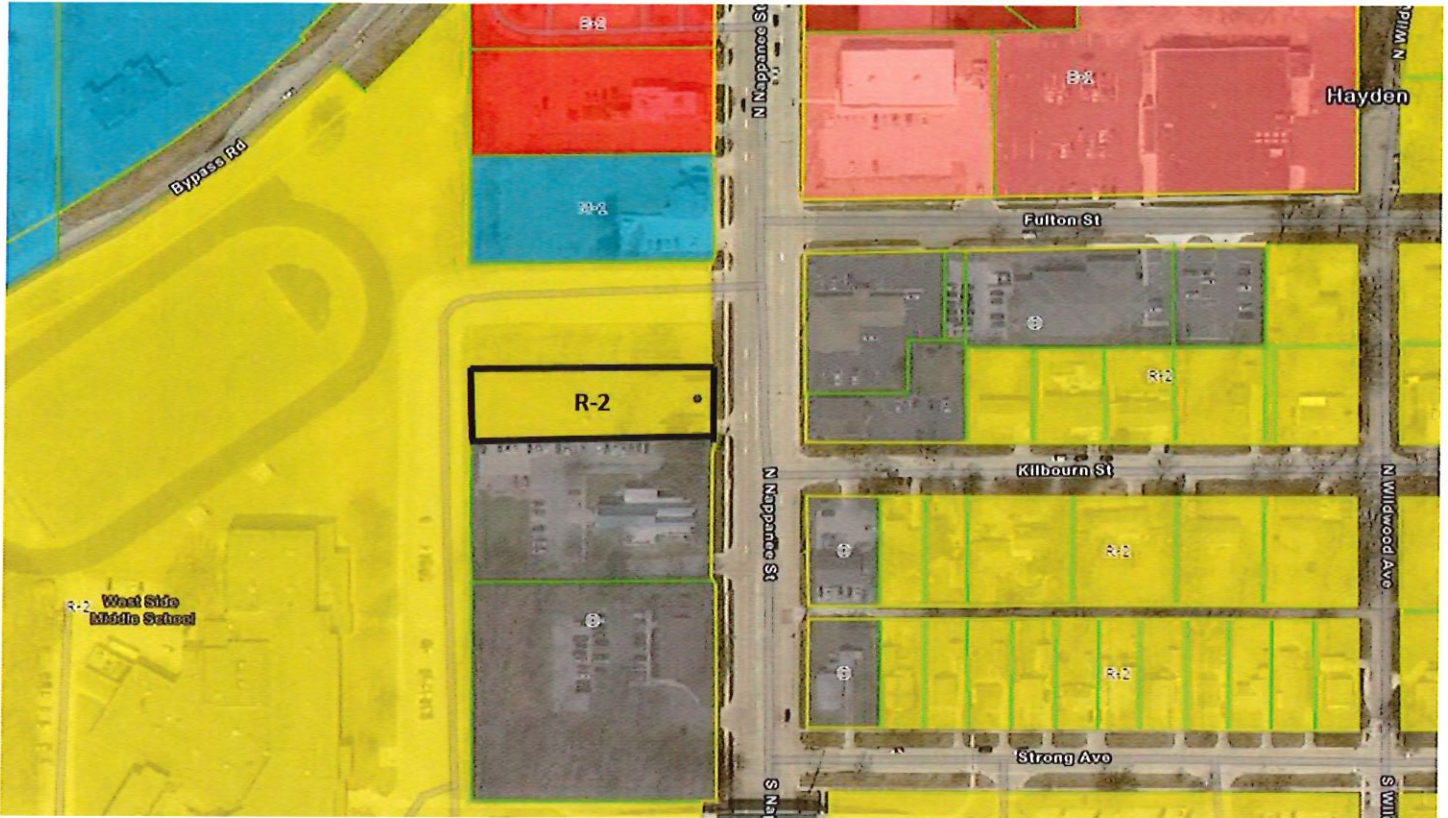
Applicable Sections of the Zoning Ordinance:

See enumerated in request.

Comprehensive Plan:

The Comprehensive Plan calls for this area to be developed with commercial uses.

Plan Commission Action: Recommendation to Common Council.



Staff Analysis

The petitioner is requesting a rezoning from R-2, One Family Dwelling District to O, Office District. The single family dwelling in directly north of the petitioner's medical practice. The property is used as overflow conference space as well as storage.

Staff supports the request and looks at it this way. The Office District reflects what and how the structure is being used. With the amended zoning, it would also allow the petitioner to expand the medical practice to the north as a 'by right' project. The property sits among other Office District uses. There will be no outward change to the building.

Recommendation

The Staff recommends **approval** of the rezoning request based on the following findings of fact:

- 1) The proposed rezoning is compatible with the Future Land Use map, which calls for the area to be developed with commercial uses;
- 2) Current conditions and the character of current structures and uses in each district will not be impacted because the existing structure is being used as an office use and will blend well with the surrounding office uses;
- 3) The O, Office District does allow for the most desirable uses for which the land can be adapted;
- 4) The proposed rezoning will preserve the conservation of property values throughout the City because it is adjacent to other commercial uses;
- 5) The rezoning of the property to O, Office District is compatible with the surrounding properties and does reflect responsible growth and development, because the use of the property is no longer residential and the current usage of the site matches the Office District.

Photos



PETITION #: 24-2-06 FILING FEE: \$ 400

PETITION to the PLAN COMMISSION

PETITION TYPE: REZONING

This action requires final approval from the Common Council

Property Owner(s): ~~Roger Moore~~ J. Arms
Mailing Address: [REDACTED]
Phone #: [REDACTED]

Contact Person: Kaylee Janowski
Mailing Address: [REDACTED]
Phone #: [REDACTED] Email: [REDACTED]

Subject Property Address: 203 N Wappanee Elkhardt 3146514
Zoning: R-2
Present Use: na Proposed Use: Storage/business activities
rezone to O

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT): Kaylee Janowski

SIGNATURE(S): Kaylee Janowski DATE: 8/20/24

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Plan Commission docket:

- One copy of the Appeal Letter signed in ink by the owner (or representative) of the property.
- A completed Petition form signed by the legal owner of record (or approved representative).
- If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- A full and accurate legal description of the property.
- One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 25 copies must be submitted.
- Any other information listed in the Instructions and Filing Procedure for this type of Petition.

Ordinance Requirement: Section(s): _____

Map #: _____ Area: _____

RECEIVED BY: _____ DATE: _____

Date: 7/8/2024

To: Honorable Members of the Plan Commission and City Council

RE: Rezoning

The undersigned petitioner respectfully shows the Plan Commission and Council:

1. I, Roger Moore, am the owner of the following described real estate located within the City of Elkhart, East Cleveland Township, Elkhart County, State of Indiana, to wit:
 - a. Attached to this memo
2. The above described real estate presently has a zoning classification of R-2, One-Family Dwelling District under the Zoning Ordinance of the City of Elkhart.
3. Petitioner presently proposes to occupy the above described property as an office location. Use the existing space as an office space for occasional conference meetings, document storage, and space for the occasional employee to work on site rather than remotely
4. J.Arms desires to rezone said real estate to Office District (O) for that purpose.
5. Standards:
 - a. **Comprehensive Plan:** Use the existing space as an office space for occasional conference meetings, document storage, and space for the occasional employee to work on site rather than remotely
 - b. **Current conditions:** The surrounding properties are zoned as Office district and maintain either traditional family dwelling home facades or have been converted into traditional office buildings. The building will align with the surrounding structures, preserving the existing space's condition and character without causing disruption.
 - c. **Desirable Use:** The most desirable use for this land would be Office District, given its accessibility from the main road and proximity to neighboring businesses.
 - d. **Conservation:** The property value will align with neighboring Office District businesses and is not expected to significantly impact surrounding property values.
 - e. **Responsibility:** The transition of this property from Residential to Office District will contribute to responsible growth and development in the area, especially since the majority of neighboring properties along this road are zoned for business use in the Office District or other business related zoning.

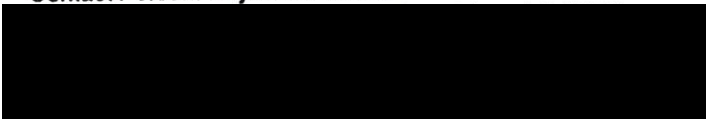
WHEREFORE, Petitioner prays and respectfully requests a hearing on this appeal and that after such hearing, the Plan Commission makes a do pass recommendation and the Council, after hearing, pass on appropriate ordinance rezoning the above described parcel of land located in the City of Elkhart.

Owner: J.Arms

Signature of Property Owner: *RM*
Printed Name: Roger Moore

RM, President and Legal Representative

Contact Person: Kaylee Janowski



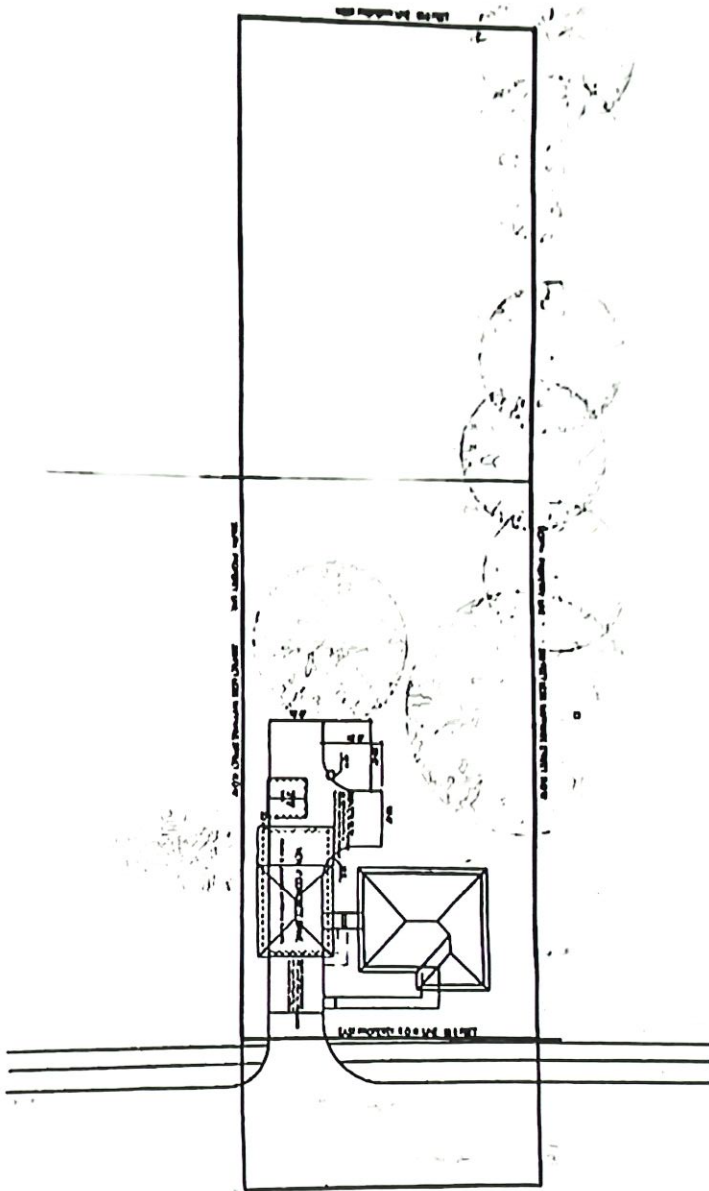
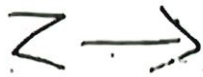
8/23/2024

Designation of Representative

I, Roger Moore, hereby designate Kaylee Janowski as the representative for my property located at 203 N Nappanee, Elkhart IN 46514, regarding all matters related to rezoning.

Signed,

Roger Moore



BASIC SITE LAYOUT

SCHEME 1

SCALE: 1/16" = 1'-0"

C

DATE: 10/10/11
BY: [illegible]

ARMS LLC PROPERTY FF DMS
[illegible text]

ARMS LLC
NORTH HAPPAGE STREET ELKHART, INDIANA

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 20-05-01-427-007.000-006

A PART OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION ONE (1), TOWNSHIP THIRTY-SEVEN (37) NORTH, RANGE FOUR (4) EAST CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A STONE AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION SIX (6), TOWNSHIP THIRTY-SEVEN (37) NORTH, RANGE FIVE (5) EAST; THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION ONE (1), FIVE HUNDRED SIXTEEN AND SIXTY-FOUR HUNDREDTHS (516.64) FEET FOR THE BEGINNING POINT OF THIS DESCRIPTION; THENCE SOUTH EIGHTY-EIGHT (88) FEET; THENCE SOUTH EIGHTY-NINE (89) DEGREES THIRTY-EIGHT (38) MINUTES WEST, THREE HUNDRED THIRTY (330) FEET TO AN IRON STAKE; THENCE NORTH EIGHTY-EIGHT (88) FEET TO AN IRON STAKE; THENCE NORTH EIGHTY-NINE (89) DEGREES THIRTY-EIGHT (38) MINUTES EAST, THREE HUNDRED THIRTY (330) FEET TO THE PLACE OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING:

A PART OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 37 NORTH, RANGE 4 EAST, ELKHART COUNTY, INDIANA AND THAT PART OF THE GRANTOR'S LAND LYING WITHIN THE RIGHT OF WAY LINES DEPICTED ON THE ATTACHED RIGHT OF WAY PARCEL PLAT MARKED EXHIBIT "B", DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 37 NORTH, RANGE 5 EAST DESIGNATED AS POINT "20" ON SAID PLAT; THENCE SOUTH 0 DEGREES 17 MINUTES 18 SECONDS WEST 516.64 FEET ALONG THE EAST LINE OF SAID SECTION 1 TO THE PROLONGED NORTH LINE OF THE GRANTOR'S LAND; THENCE NORTH 89 DEGREES 42 MINUTES 42 SECONDS WEST 37.50 FEET ALONG THE PROLONGATION OF SAID NORTH LINE TO THE WEST BOUNDARY OF S.R. 19 PER DEED RECORD 218, PAGE 435 (OFFICE OF THE RECORDER OF ELKHART COUNTY) AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 0 DEGREES 06 MINUTES 48 SECONDS WEST 88.00 FEET ALONG THE BOUNDARY OF SAID S.R. 19 TO THE SOUTH LINE OF THE GRANTOR'S LAND; THENCE NORTH 89 DEGREES 42 MINUTES 42 SECONDS WEST 14.90 FEET ALONG SAID SOUTH LINE; THENCE NORTH 0 DEGREES 06 MINUTES 48 SECONDS EAST 77.85 FEET TO THE POINT DESIGNATED AS "297" ON SAID PLAT; THENCE NORTH 13 DEGREES 55 MINUTES 23 SECONDS WEST 10.47 FEET TO THE NORTH LINE OF THE GRANTOR'S LAND; THENCE SOUTH 89 DEGREES 42 MINUTES 42 SECONDS EAST 17.44 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING AND CONTAINING 0.030 ACRES, MORE OR LESS.



Staff Report

Planning & Zoning

Petition: 24-FSP-05

Petition Type: Final Site Plan

Date: October 7, 2024

Petitioner: 3220 Southview Drive Elkhart, LLC

Site Location: 3220 Southview Drive

Request: As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan for up to an additional twenty-seven (27) parking spaces for a proposed veterinary clinic at 3220 Southview Drive.

Existing Zoning: PUD, Planned Unit Development

Size: +/- 1.00 acre

Thoroughfares: Southview Drive

School District: Elkhart Community Schools

Utilities: Available and provided to site

Surrounding Land Use & Zoning:

The property is surrounded by commercial and hotel uses. The zoning is PUD.

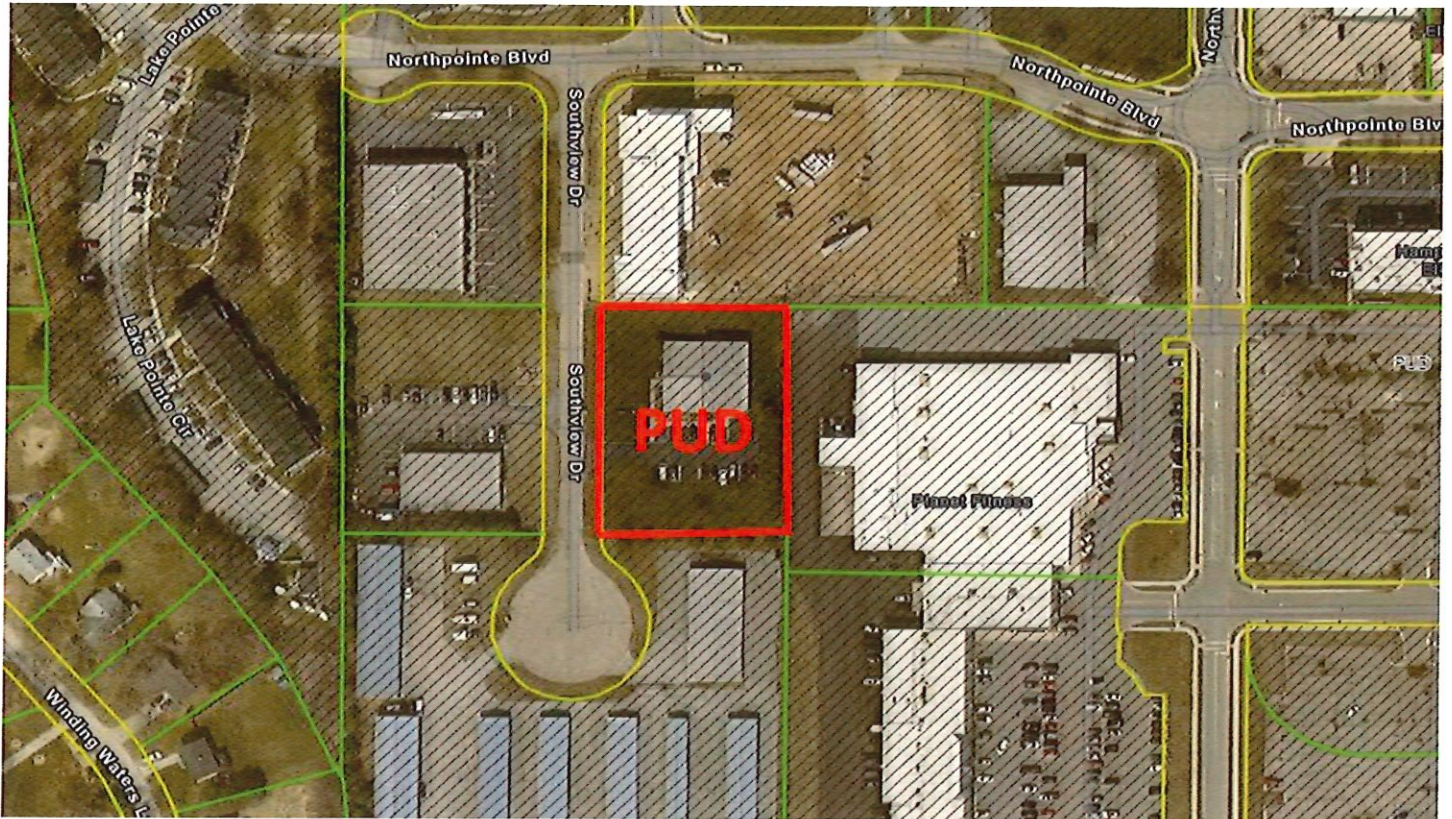
Applicable Sections of the Zoning Ordinance:

Section 20.7.B – Final Site Plan

Comprehensive Plan:

The Comprehensive Plan calls for the land to be developed with commercial uses.

Plan Commission Action: Approval or denial of request – with or without any additional conditions



Staff Analysis

The petitioner owns a 1.00 acre lot in the Northpoite Plaza development off Cassopolis Street. The final site plan amendment requested is for additional parking to serve the new commercial use as a veterinary clinic. The plan calls for an additional 27 parking spaces. These spaces are in addition to the existing 17 spaces that currently serve the building.

The use as a veterinary clinic is permitted within the PUD. Our current parking standards don't specifically provide a standard for vet clinics – our closest is a medical clinic which calls out 1 space for every 250 square feet. For this building that would permits up to 26 spaces. The need for the new parking comes from the new owner which based their needs on previous experience at other facilities they operate.

Recommendation

The Staff recommends approval of the final site plan based on the following findings of fact:

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community;
2. The proposed use is permitted within the underlying zoning of the Planned Unit Development;
3. The project has passed the City's Technical Review process;
4. The use conforms to the Comprehensive Plan which calls for commercial uses;
5. The proposed use should not be detrimental to the property values of adjacent properties.

Photos



PETITION #: 24-FSP-05

FILING FEE: \$ 100-

PETITION to the PLAN COMMISSION

PETITION TYPE: FINAL SITE PLAN

Property Owner(s): 3220 Southview Drive Elkhart LLC

Mailing Address: [REDACTED]

Phone #: _____ Email: _____

Contact Person: Jason Sanderson

Mailing Address: [REDACTED]

Phone # [REDACTED] Email [REDACTED]

Subject Property Address: 3220 Southview Drive, Elkhart, IN 46514

Zoning: PUD

Present Use: Commercial Proposed Use: Commercial (veterinary clinic)

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT): Jason Sanderson

SIGNATURE(S):  DATE: 08/29/2024

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Plan Commission docket:

- _____ A completed Petition form signed by the legal owner of record (or approved representative).
- _____ If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- _____ A full and accurate legal description of the property.
- _____ One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 12 copies must be submitted.
- _____ One copy of the Appeal Letter signed in ink by the owner (or representative) of the property. (Optional)
- _____ Any other information listed in the Instructions and Filing Procedure for this type of Petition.

Ordinance Requirement: Section(s): _____

Map #: _____ Area: _____

RECEIVED BY: _____ DATE: _____



Staff Report

Planning & Zoning

Petition: 24-Z-07

Petition Type: Rezoning

Date: October 7, 2024

Petitioner: R B Realty, LLC

Site Location: 2520 and 2526 Bypass Road

Request: Per Section 29.11.B, Map Amendments, a request to rezone 2520 and 2526 Bypass Road (05-01-426-007 and 05-01-401-011) from M-1, Limited Manufacturing District to R-4, Multiple Family Dwelling District.

Parcel I.D. Number(s): 20-05-01-426-007.000-006 and 20-05-01-401-011.000-006

Existing Zoning: M-1, Limited Manufacturing District

Size: +/- 18.21 Acres

Thoroughfares: Bypass Road

School District: Elkhart Community Schools

Utilities: Available to site

Surrounding Land Use & Zoning:

The land to the east is zoned M-1 with older industrial and automotive uses. Land to the west is a residential care facility zoned Planned Unit Development. Land to the south is R-2, a middle school. The land to the north is a gravel pit pond.

Applicable Sections of the Zoning Ordinance:

See enumerated in request.

Comprehensive Plan:

The Comprehensive Plan calls for this area to be developed with commercial uses.

Plan Commission Action: Recommendation to Common Council.



Staff Analysis

The petitioner is requesting a rezoning from M-1, Limited Manufacturing District to R-4, Multiple Family Dwelling District with the intent of constructing 138 apartments across three buildings. The site is located on the north side of Bypass Road. It is directly across the street from West Side Middle School and within three blocks of Mary Daly Elementary School – allowing for any children in the development the opportunity to walk to school.

Long established as an industrial corridor, the uses along Bypass Road over time have changed and become far less intense. Over the last 10-15 years, new business investment and land redevelopment have evolved this segment of Bypass Road, including the introduction of senior living, and are helping to transform it into a more vibrant commercial gateway. This primary street into Elkhart will continue to transform as more commercial investment occurs. These residential units will support the existing and newer businesses in the area and the community.

The Boiling Eye Center at the west end of the corridor, the Tom Naquin and Harold Ziegler new car showrooms, the Hellenic Senior Living Center and to the east at Nappanee Street, the new commercial center with Jimmy Johns, Dunkin Donuts and I Heart Mac and Cheese - are examples of new and existing commercial businesses that have invested along the corridor.

This project also helps our community continue to address the shortage of residential dwelling units as highlighted in the Zimmerman Volk study. Currently the project is being designed to be accessible to the area's workforce, including those earning between 80-120% of the Area Median Income (AMI). The final layout for the project has not yet been finalized. However, the project will be required to be submitted for review at Technical Review and by the Building Department before permits are issued. The project will also be required to submit a minor subdivision to establish new lots of record.

This rezoning request activates land that was formerly the Skyline Corporate Headquarters. A core component of the project includes the transition of the former Headquarters building into residential apartments, along with construction of new units. Skyline Industries and its founder have a strong legacy in the City of Elkhart and in honor of company founder and former CEO, Art Decio, the project will be known as Decio Park.

Recommendation

The Staff recommends **approval** of the rezoning request based on the following findings of fact:

- 1) The proposed rezoning is compatible with the Future Land Use map, which calls for the area to be developed with commercial uses;
- 2) Current conditions and the character of current structures and uses in each district will not be impacted because the proposed multifamily development will blend well with the surrounding commercial uses;
- 3) The R-4 District does allow for the most desirable uses for which the land can be adapted;
- 4) The proposed rezoning will preserve the conservation of property values throughout the City because the redevelopment as multifamily residential will complement the existing commercial uses in the area and represents a significant investment in a property that has been vacant for a number of years;
- 5) The rezoning of the property to R-4, Multi Family Dwelling District is compatible with the surrounding properties and does reflect responsible growth and development as this use will help our community address the housing shortage and will activate a former corporate headquarters with quality redevelopment.

Photos







Attachments

Petition, appeal letter, affidavit, and site plan.

PETITION #: 24-2-07

FILING FEE: \$ 400 -

PETITION to the PLAN COMMISSION

PETITION TYPE: REZONING

This action requires final approval from the Common Council

Property Owner(s): R B Realty LLC

Mailing Address: [REDACTED]

Phone #: [REDACTED] Email: [REDACTED]

Contact Person: Danch, Harner & Associates - Attn: Angela Smith

Mailing Address: [REDACTED]

Phone #: [REDACTED] Email: [REDACTED]

Subject Property Address: 2520 and 2526 Bypass Road

Zoning: Rezone from M1 to R4

Present Use: vacant Proposed Use: Multi-family residential

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT): R B Realty LLC - Hayley Boling, CEO

SIGNATURE(S): [Handwritten Signature] DATE: 8/29/2024

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Plan Commission docket:

- One copy of the Appeal Letter signed in ink by the owner (or representative) of the property.
- A completed Petition form signed by the legal owner of record (or approved representative).
- If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- A full and accurate legal description of the property.
- One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 25 copies must be submitted.
- Any other information listed in the Instructions and Filing Procedure for this type of Petition.

Ordinance Requirement: Section(s): _____

Map #: _____ Area: _____

RECEIVED BY: _____ DATE: _____



Danch, Harner & Associates, Inc.

Michael J. Danch, L.A.
Ron Harner, P.S.

Land Surveyors • Professional Engineers
Landscape Architects • Land Planners

DATE: August 29, 2024

TO: Honorable Members of the Plan Commission
and City Council
City of Elkhart, Indiana

RE: Rezoning

The undersigned petitioner respectfully shows the Plan Commission and Council:

1. I, authorized agent of R B Realty Inc, am the owner of the following described real estate located within the City of Elkhart, Cleveland Township, Elkhart County, State of Indiana, to wit:

(see attached)
2. The above-described real estate presently has a zoning classification of M-1 Limited Manufacturing District under the Zoning Ordinance of the City of Elkhart.
3. Petitioner proposes to occupy the above-described property in the following manner:
Multi-family residential development with associated community center, leasing offices, and childcare facility.
4. Petitioner desire to rezone said real estate to R-4 Multiple Family Dwelling District for that purpose.
5. The following criteria support the petition request:

The Comprehensive Plan: The proposed rezoning is generally compliant with the Comprehensive Plan. The Future Land Use map identifies this area as Commercial. Multi-family developments of medium to high density are compatible with commercial designations and often considered commercial for building and fire safety perspectives. In additional to the multi-family residential units, the proposed development consists of community gathering space, daycare, and associated offices. All uses consistent with the commercial land use designation. Future phases hope to incorporate vital commercial uses to support the development.

The Comprehensive Plan also highlights the need for new housing in the City to provide opportunities for diverse ages, income levels, and stages of life. The proposed development would serve as a positive addition to the City with traditional apartment style living that could serve as a much needed affordable option for residents. Future phases of the project could address the transition to ownership-based opportunities. The proximity to the assisted living facility to the west would also create an opportunity for multi-generational families to live in close proximity to each other and foster the long lasting support that communities like Elkhart are striving to achieve.

Current conditions and the character of current structures and uses in each district: The current characteristic of Bypass Road is a mix of institutional and low intensity commercial and industrial uses. As industrial development has moved to other areas of the City where transportation and land are butter suited for the use, Bypass Road h as become an opportunity for redevelopment for less intense uses such as commercial, multi-family residential and institutional uses. With



assisted living immediately to the west and a school located across the street, this site is well suited for a multi-family residential development.

The most desirable use for which the land in each district is adapted: The most desirable use of the land is one that is compatible with the adjacent multi-family residential and institutional uses of the area. Medium density multi-family is desirable use because of the location along a public transportation route and close proximity to schools and shopping. The north side of Bypass Road offers a unique opportunity to retain a park-like setting that takes advantage of the natural beauty of the adjacent lake and serves as a buffer from the more intense commercial uses nearby.

The conservation of property values throughout the jurisdiction: The proposed use is situated on a large parcel with ample room for adequate parking, active open space, and accessory services to support the proposed multi-family development. The reuse of the existing building and compatible building design of the proposed buildings will help preserve the property values throughout. The increased availability of affordable residential units will serve the community as a whole and support the increased demand for house within the City limits.

Responsible growth and development: It is responsible development and growth to ensure adequate housing is available to serve the increased demand in the area. Developing multi-development housing with the existing City limits ensure the available of proper infrastructure to serve the demand. The proposed sites location on a transportation

WHEREFOR, Petitioner prays and respectfully requests a hearing on this appeal and that after such hearing, the Plan Commission make a do pass recommendation and the Council, after hearing, pass on appropriate ordinance rezoning for the above-described parcel of land located in the City of Elkhart.

Signature of Property Owner: _____

Printed Name: _____

Hayley Boling

Contact Person: Danch, Harner & Associate - Attn: Angela M. Smith _____

Address: _____

Phone Number where I can be reached: _____

Email: _____


Office _____

AFFIDAVIT IN SUPPORT OF REZONING PETITION

I, Hayley Boling, being first duly sworn upon his/her oath deposes and says that he/she is familiar with and has personal knowledge of the facts herein and, if called as a witness in this matter, would testify as follows:

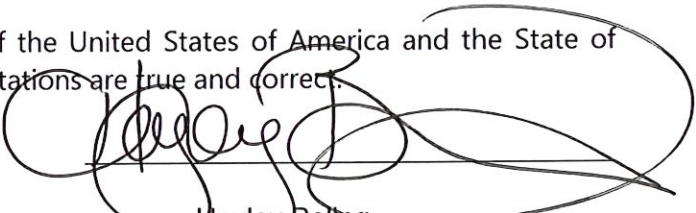
1. I am over eighteen (18) years of age and am competent to testify to the matters contained herein.
2. I make this affidavit in support of my rezoning petition filed contemporaneously herewith.
3. I am now and at all times relevant herein have been, the owner of record of the property located at 2520 & 2526 Bypass Road Elkhart, Indiana.
4. FURTHER AFFIANT SAYETH NOT.

EXECUTED on the 29th day of August, 2024.



Printed: Hayley Boling

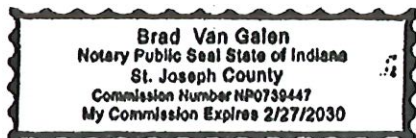
I certify under the penalties for perjury under the laws of the United States of America and the State of Indiana that the foregoing factual statements and representations are true and correct.




Printed: Hayley Boling

STATE OF INDIANA)
) SS:
COUNTY OF ELKHART)

Before me the undersigned, a Notary Public in and for the State of Indiana, personally appeared Hayley Boling, and acknowledged his/her execution of the foregoing. Subscribed and sworn to before me this 29th day of August, 2024.



My Commission Expires:
2/27/30



Printed: Brad Van Galen

Notary Public in and for the State of Indiana
Resident of St. Joseph County, Indiana

LEGAL DESCRIPTION

TRACT I: A part of Section 1, Township 37 North, Range 4 East, Second Principal Meridian, Cleveland Township, Elkhart County, Indiana, more particularly described as follows:

Commencing at a 1" iron pipe that is 1212.7 feet South and 1.57 chains West (103.62 feet) of the Northwest corner of the Southwest Quarter of the Northeast Quarter of said Section 1; thence South 0 degrees 1 minute 36 seconds West, a distance of 916.80 feet to a point on the centerline of Indiana State Highway 112; thence South 89 degrees 26 minutes 0 seconds East along said centerline, a distance of 509 feet to the point of beginning of this description; thence continuing East along said line, a distance of 400 feet; thence North 0 degrees 0 minutes 36 seconds East, a distance of 50 feet to an iron pipe on the North right-of-way said Indiana State Highway 112; thence South 89 degrees 26 minutes 0 seconds East along said North right-of-way, a distance of 100.40 feet to an iron rebar with cap (Doriot #890028); thence North 0 degrees 54 minutes 22 seconds East, a distance of 768.1 0 feet to a point on the North line of the Southeast Quarter of said Section 1; continuing North along said line, a distance of 107.31 feet; thence North 89 degrees 55 minutes 2 seconds West, a distance of 514.07 feet to an iron pipe; thence South 0 degrees 0 minutes 36 seconds West, a distance of 107.30 feet to a point on the North line of the Southeast Quarter of said Section 1; thence continuing South along said line, a distance of 813.80 feet to the point of beginning; said described tract containing 10.63 acres, more or less.

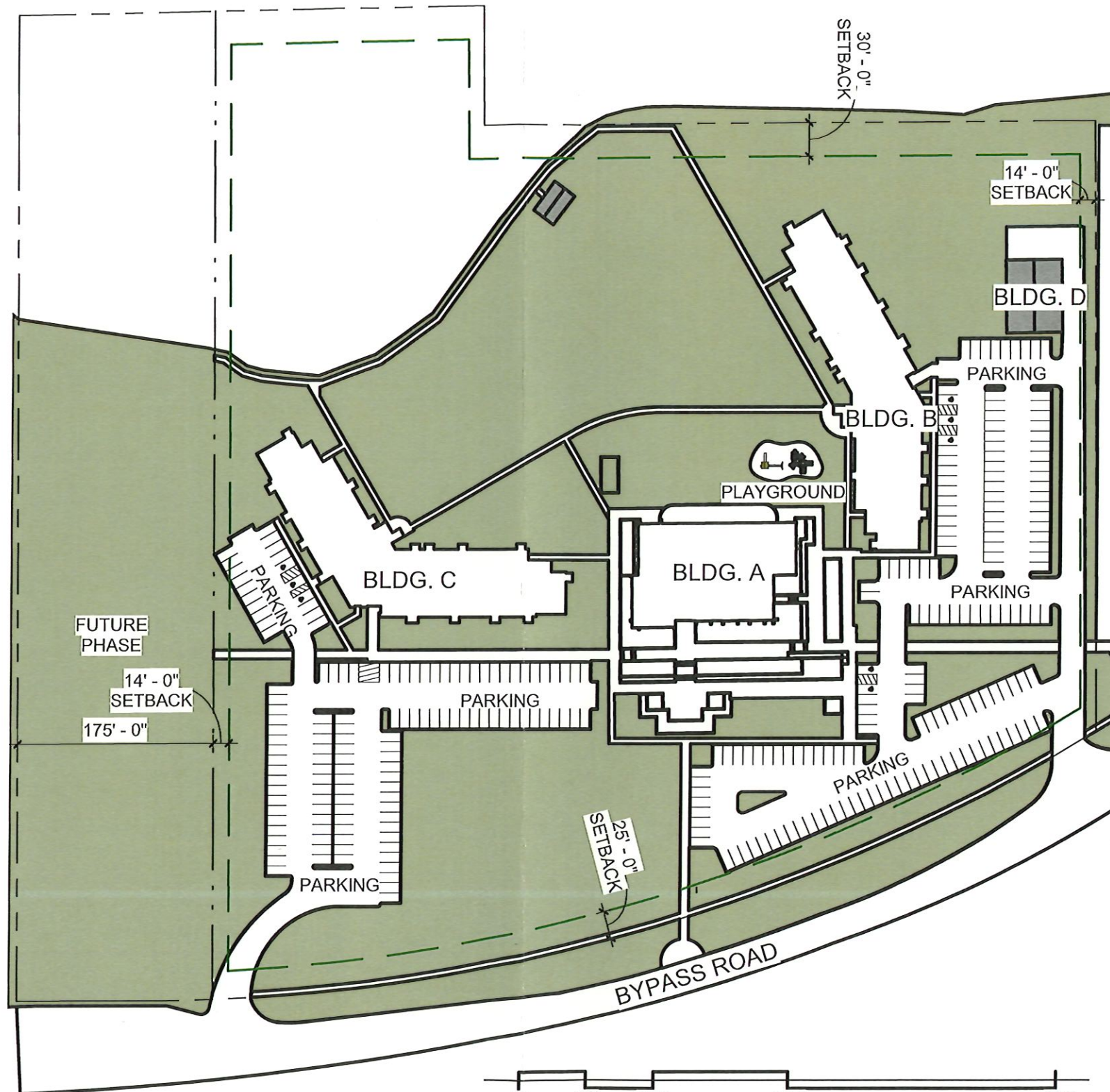
EXCEPTING THEREFROM: A part of that tract of land conveyed to Skyline Corporation, as described in Deed Record 97-000017, Elkhart County Recorder, and lying in Section 1, Township 37 North, Range 4 East, Cleveland Township, Elkhart County, Indiana, more particularly described as follows:

Commencing at a 1" iron pipe that is 1212.7 feet South and 1.57 chains West (103.62 feet) of the northwest corner of the Southwest Quarter of the Northeast Quarter of said Section 1 (record dimension per said Skyline Corporation land); thence South 0°01'36" West, a distance of 916.80 feet to a point on the centerline of Indiana State Highway 112 (record dimension per said Skyline Corporation land); thence South 89°26'00" East along said centerline, a distance of 509.00 feet (record dimension per said Skyline Corporation land) to the Point of Beginning of this description and being the southwest corner of said Skyline Corporation land; thence North 89°25'06" East along said centerline 400.00 feet; thence North 01°08'18" East 50.00 feet to an iron pipe on the north right-of-way line of said Indiana State Highway 112; thence North 89°25'06" East along said north right-of-way 100.40 feet to an iron rebar with cap (Doriot #890028) marking the southeast corner of said Skyline Corporation land; thence North 0° 14'32" West 603.5 feet, passing a rebar with cap (Musser #9700002) at 597.00 feet, to the edge of water; thence northwesterly, along the southerly edge of water, 506 feet to a point lying North 01°08'18" West 925.63 feet and North 89°18'14" East 94.23 feet from the point of beginning and being on a line 107.3 feet northerly of the East-West Half Section line of said Section 1; thence South 89°18'14" West 94.23 feet to a rebar with cap (Musser #9700002) marking the northwest corner of said Skyline Corporation land; thence South 01°08'18" East 925.63 feet to the point of beginning. Containing 9.11 acres more or less.

TRACT II: A part of Section 1, Township 37 North, Range 4 East, Second Principal Meridian, Cleveland Township, Elkhart County, Indiana, more particularly described as follows:

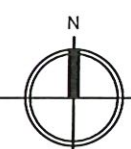
Commencing at a 1" iron pipe that is 1212.7 feet South and 1.57 chains West (103.62 feet) of the Northwest corner of the Southwest Quarter of the Northeast Quarter of said Section 1; thence South 0

degrees 1 minute 36 seconds West, a distance of 916.80 feet to a point on the centerline of Indiana State Highway 112; thence South 89 degrees 26 minutes 0 seconds East along said centerline, a distance of 509 feet to a point; thence continuing East along said line and centerline, a distance of 400 feet to a point; thence North 0 degrees 0 minutes 36 seconds East, a distance of 50 feet to an iron pipe on the North right-of-way of said Indiana State Highway 112; thence South 89 degrees 26 minutes 0 seconds East along said North right-of-way, a distance of 100.40 feet to an iron rebar with cap (DORI OT #890028) at the point of beginning of this description; thence continuing East along said line and North right-of-way, a distance of 77.10 feet to the point of curvature of a non-tangent curve, concave to the North, having a radius of 1632.71 feet, a central angle of 32 degrees 40 minutes 36 seconds, and a chord of 918.61 feet bearing North 76 degrees 2 minutes 38 seconds East; thence East along said curve, a distance of 931.18 feet to an iron rebar with cap (DORI OT #890028); thence North 0 degrees 36 minutes 53 seconds East, a distance of 545.86 feet to an iron pipe on the North line of the Southeast Quarter of said Section 1; thence North 89 degrees 55 minutes 2 seconds West along said North line, a distance of 546.49 feet to a point; thence due North, a distance of 107.30 feet to a point; thence North 89 degrees 55 minutes 2 seconds West, a distance of 414.11 feet to a point; thence South 0 degrees 54 minutes 22 seconds West, a distance of 107.31 feet to a point on the North line of the Southeast Quarter of said Section 1; thence continuing South along said line, a distance of 768.10 feet to the point of beginning. Containing 16.69 Acres, more or less.



24-2-07

1 Preliminary Site Plan
A100 1" = 120'-0"



Marous Brothers
CONSTRUCTION
DESIGN BUILDER:
36933 VINE STREET
WILLOUGHBY, OH 44094
www.marousbrothers.com
440-951-3904

DECIO PARK PHASE I

PRELIMINARY SITE PLAN

AUGUST 30, 2024

A100

MBC PROJECT NO.: 24061



Staff Report

Planning & Zoning

Petition: 24-FSP-06

Petition Type: Final Site Plan

Date: October 7, 2024

Petitioner: A and L Properties Inc. & Kyle Miller Ten Com

Site Location: 1128 Parkway Avenue

Request: As required by Section 20.7.B seeking approval for a Final Site Plan for a new 27,604 sq. ft. commercial building with associated parking on Lot 14 of the Parkway at 17 development.

Existing Zoning: PUD, Planned Unit Development

Size: +/- 2.76 acres

Thoroughfares: Parkway Avenue

School District: Middlebury Community Schools

Utilities: Available and provided to site

Surrounding Land Use & Zoning:

The property is surrounded by vacant land to the east and south with existing commercial buildings to the north and west. The land to the east is in Elkhart County. The zoning for the existing commercial buildings is PUD

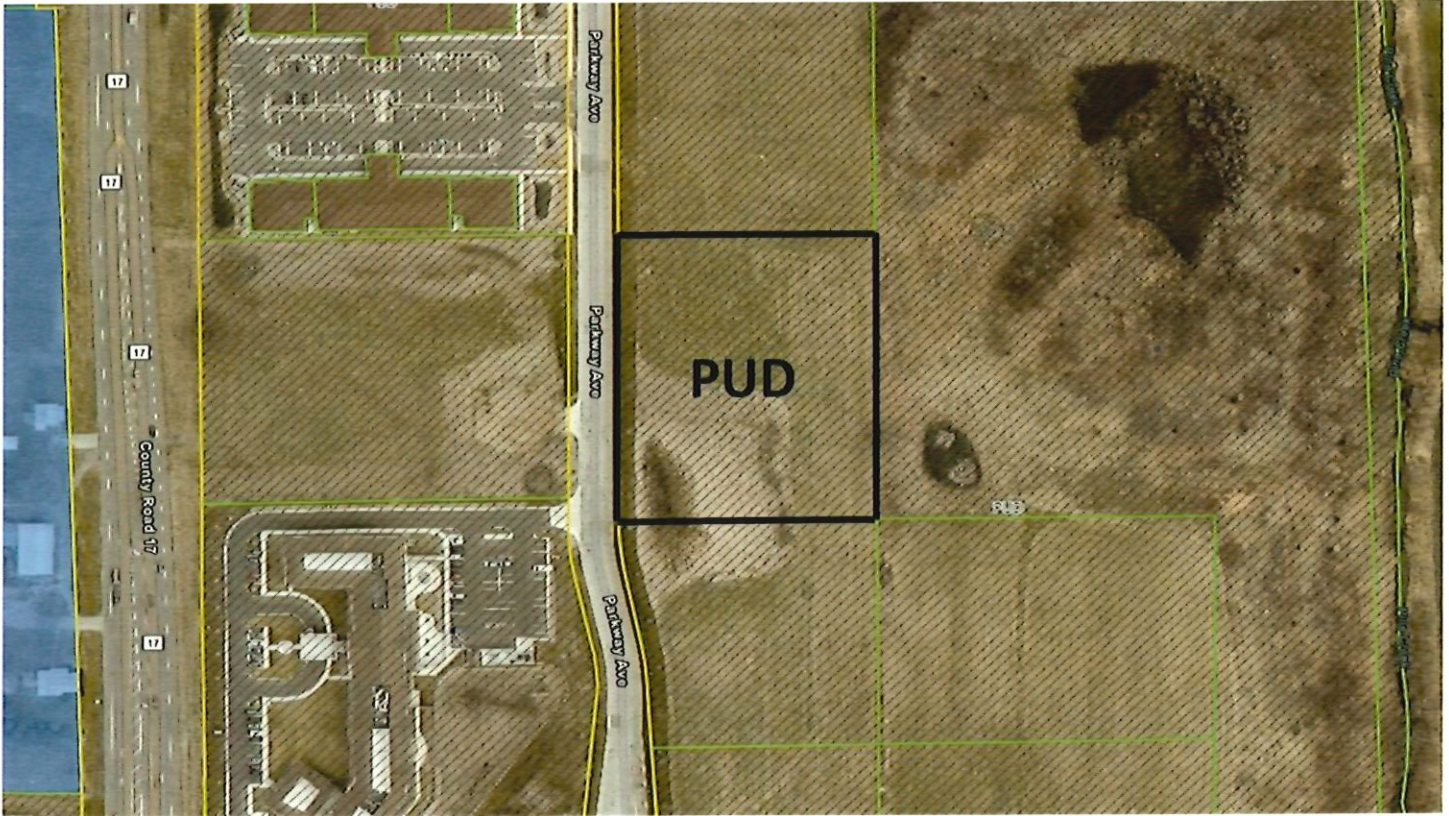
Applicable Sections of the Zoning Ordinance:

Section 20.7.B – Final Site Plan

Comprehensive Plan:

The Comprehensive Plan calls for the land to be developed with commercial uses.

Plan Commission Action: Approval or denial of request – with or without any additional conditions



Staff Analysis

The petitioner owns a 2.76 acre lot (Lot 14) in the Parkway at 17 development off County Road 17. The final site plan request is for the construction of a 27,604 sq ft commercial building with associated parking. The building is proposed for the east side of the street north of Verdant.

The project was submitted for Tech Review and has been approved. The approval at Plan Commission for the final site plan is the last step prior to the petitioner obtaining building permits.

Recommendation

The Staff recommends approval of the final site plan based on the following findings of fact:

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community;
2. The proposed use is permitted within the underlying zoning of the Planned Unit Development;
3. The project has passed the City's Technical Review process;
4. The use conforms to the Comprehensive Plan which calls for commercial uses;
5. The proposed use should not be detrimental to the property values of adjacent properties.

Photos





Attachments

Petition, letter, site plan.

OWNER

MARTIN MARKETING
1128 PARKWAY AVENUE
ELKHART INDIANA
P: (574) 536-4090

DEVELOPER

DJ CONSTRUCTION
3414 ELKHART ROAD
GOSHEN INDIANA
P: (574) 533-1645

SURVEYOR/ENGINEER

JONES, PETRIE, RAFINSKI, CORP.
325 S. LAFAYETTE BLVD.
SOUTH BEND, IN 46601
(574) 232-4388

UTILITIES

- ELECTRIC** AMERICAN ELECTRIC POWER
3340 OLD US 20E
ELKHART, IN 46516
DON SANTERRE
1-574-296-5052
- GAS** NIPSCO GAS (SOUTH BEND)
1039 E PENNSYLVANIA AVE.
P.O. BOX 1355
SOUTH BEND, IN 46601
RICH WALGREN
1-574-284-2105
- WATER** ELKHART WATER WORKS
1201 S. NAPPANEE ST.
ELKHART, IN 46516
TORY IRWIN
1-574-293-2572
- SEWER** ELKHART WASTEWATER TREATMENT & UTILITY
1201 S. NAPPANEE ST.
ELKHART, IN 46516
TORY IRWIN
1-574-293-2572
- CABLE** COMCAST NORTH
1920 MCKINLEY AVENUE
MISHAWAKA, IN 46545
JAY COSTELLO
1-847-789-1039 EXT 71029
- FIBER OPTIC** INTERCARRIER NETWORKS, LLC
123 NIEMAN ST.
SUNMAN, IN 47041
DUSTIN NOBBE
1-812-623-4332
- FIBER OPTIC** SURF INTERNET (FORMERLY COMMERCIAL BROADBAND SOLUTIONS)
1705 STATE ST
LAPORTE, IN 46352
TANNER BRADLEY
1-806-576-9768
- UTILITY LOCATE** INDIANA 811
1-800-382-5544

IMPORTANT UNDERGROUND UTILITY NOTES

EXISTING UNDERGROUND UTILITIES SHOWN IN THESE PLANS ARE BASED ON EVIDENCE OF ABOVE GROUND FEATURES, ON LOCATIONS MARKED IN THE FIELD BY OTHERS, OR ON RECORD INFORMATION PROVIDED BY UTILITY COMPANIES. PIPE INVERT ELEVATIONS WERE MEASURED WITHOUT ENTERING CONFINED SPACES. NO EXCAVATION SHOULD OCCUR WITHOUT NOTIFICATION OF APPROPRIATE AGENCIES AND UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF PIPE INVERT ELEVATIONS AND UTILITY LOCATIONS, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE DISCOVERED.

GENERAL NOTES

FOR PROTECTION OF UNDERGROUND UTILITIES, CONTRACTOR SHALL CALL 1-800-382-5544 A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL INDIANA 811 PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE INDIANA 811 ALERT SYSTEM.

IF ANY ERRORS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL GOVERNMENT, INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AND THE INDIANA DEPARTMENT OF TRANSPORTATION.

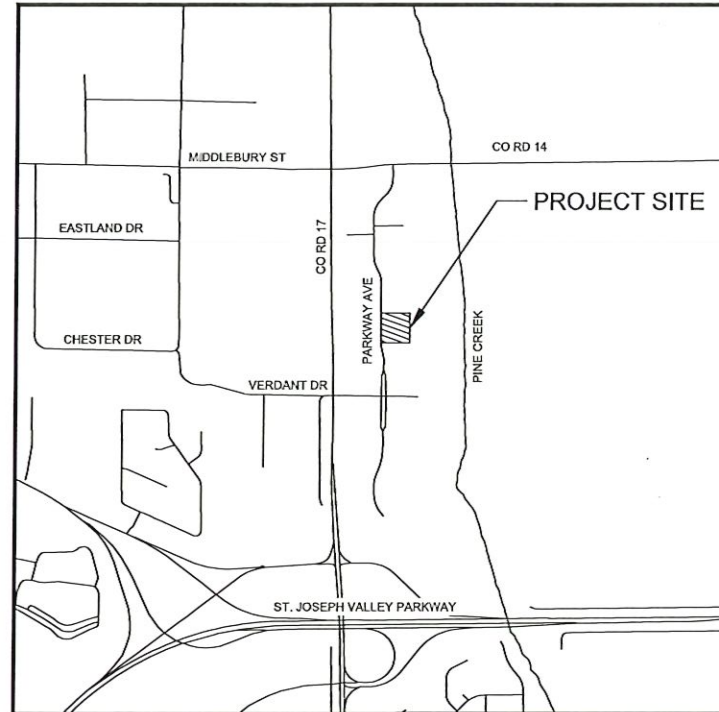
THE CONTRACTORS SHALL MAKE WHATEVER SOIL BORINGS NECESSARY TO FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE CONDITIONS WHICH MAY AFFECT THE COST OF THE WORK. FAILURE TO MAKE SUCH BORINGS OR ANY BORINGS MADE WHICH DO NOT PROVIDE A COMPLETE UNDERSTANDING OF THE CONDITIONS ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR CARRYING OUT ALL THE WORK TO COMPLETION AS SHOWN ON THE PLANS, OR AS SPECIFIED, AT THE PRICE SPECIFIED TO BE PAID FOR THE WORK. WHERE THE RESULTS OF ANY TEST BORINGS ARE SHOWN ON THE PLANS, THE INFORMATION IS NOT GUARANTEED AND THE CONTRACTOR MUST SATISFY HIMSELF AS TO THE CHARACTER OF MATERIALS THAT MAY BE ENCOUNTERED.

THE CONTRACTOR SHALL FOLLOW THE IOSHA REGULATIONS 29 C.F.R. 1926 SUBPART P, FOR TRENCH SAFETY SYSTEMS. THE COST FOR TRENCH SAFETY SYSTEMS SHALL BE MERGED INTO THE PAY ITEM OF THE PRINCIPAL WORK WITH WHICH THE SAFETY SYSTEMS ARE ASSOCIATED. THE CONTRACTOR SHALL OTHERWISE BE RESPONSIBLE FOR SAFETY IN REGARD TO THE PROJECT'S CONSTRUCTION.

MARTIN MARKETING FACILITY

PROJECT DESCRIPTION

PLANS FOR THE CONSTRUCTION OF A NEW FACILITY AND PARKING INFRASTRUCTURE FOR MARTIN MARKETING EAST OF PARKWAY AVE IN ELKHART INDIANA.



LOCATION MAP
PART OF ELKHART, INDIANA
SECTION 07, TOWNSHIP 37 NORTH, RANGE 7 EAST,
JEFFERSON TOWNSHIP, ELKHART COUNTY

THE PROPOSED CONSTRUCTION WILL BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN

INDEX OF PLANS

- G101 - COVER
- G102 - GENERAL NOTES
- C100 - TOPOGRAPHIC SURVEY
- C102 - SITE DEMOLITION PLAN
- C201 - SITE DIMENSIONAL PLAN
- C301 - SITE GRADING PLAN
- C401 - SITE UTILITY PLAN
- C501 - SITE EROSION CONTROL PLAN
- C502 - SITE EROSION CONTROL DETAILS
- C601 - SITE LANDSCAPE PLAN
- C602 - LANDSCAPE NOTES & DETAILS
- C701 - SITE LIGHTING PLAN
- SD101 - SITE DETAILS I
- SD102 - SITE DETAILS II
- SD103 - SITE DETAILS III

File: J:\Projects\2024\Projects\2024-0044\07_design\ENG\Plans\G101 - COVER.dwg
Saved By: Jackson Plotter: 2024-09-10 11:21 AM

REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**

Fort Wayne, IN
P: 260-422-2922

South Bend, IN
P: 574-232-4388

PRELIMINARY FOR REVIEW PURPOSE ONLY

MARTIN MARKETING FACILITY
DJ CONSTRUCTION
COVER

3414 ELKHART ROAD
GOSHEN INDIANA

DESIGNED BY: JTB
REVIEWED BY: AC
DRAWN BY: JTB
REVIEWED BY: CE

24-FSP-06

DATE:	09/20/2024
JOB NUMBER:	2024-0044
SCALE:	
	G101

PRELIMINARY FOR REVIEW PURPOSES ONLY

CLAIRE ELTZROTH, PE 12000703
FEER REVIEW
REGISTERED PROFESSIONAL ENGINEER STATE OF INDIANA

8/21/2024

PRELIMINARY FOR REVIEW PURPOSES ONLY

ANDREW CUNNINGHAM LA 21300012
COVERING DESIGN
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT STATE OF INDIANA

8/21/2024

GENERAL NOTES

- 1. A PRE-CONSTRUCTION MEETING BETWEEN THE OWNER, DEVELOPER, THE DEVELOPER'S CONTRACTOR, AND THE APPROPRIATE COUNTY AND/OR CITY PERSONNEL MUST BE SCHEDULED PRIOR TO ANY WORK BEING PERFORMED ON THE SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. CONTRACTOR SHALL RETAIN A LICENSED LAND SURVEYOR TO ESTABLISH LINES, GRADES, PROPERTY CORNERS, AND LOCATE BUILDINGS.
4. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53,1974, THE CONTRACTOR SHALL CALL INDIANA 811 AT 600-382-5544 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE IUPPS ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
5. THE CONTRACTOR SHALL INSTALL A TEMPORARY PEDESTRIAN SECURITY FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
6. ALL CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. REGULATORY SIGNAGE AS NECESSARY FOR MAINTAINING SAFE TRAFFIC ON ADJACENT ROADWAYS SHALL BE PER THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT). THE CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL AND WARNING SIGNING AND DEVICES FOR THE DURATION OF CONSTRUCTION ON ANY PUBLIC STREET. FAILURE TO DO SO WILL RESULT IN THE CITY PROVIDING THE NECESSARY EQUIPMENT AND CHARGING THE CONTRACTOR WITH ALL RELATED COSTS.
7. WHEN WORKING WITHIN PUBLIC RIGHTS-OF-WAY, THE CONTRACTOR SHALL MAINTAIN FLASHING WARNING LIGHTS ON CONSTRUCTION SIGNS AND BARRICADES ON A MINIMUM WEEKLY BASIS, AND SHALL PROMPTLY RESPOND TO PROBLEMS WITH THESE AS DIRECTED, (I.E. FALLEN SIGNS, OBSTRUCTED SIGNS, ETC.).
8. ALL SITE IMPROVEMENTS ON-SITE OR OFF ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR MUST OBTAIN ALL PERMITS TO WORK IN RIGHTS-OF-WAY UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL PROMPTLY RE-GRADE AND RE-VEGETATE ERODED AREAS, AND CLEAN UP SEDIMENTATION RESULTING FROM CONSTRUCTION.
10. THE CONTRACTOR SHALL UTILIZE AND MAINTAIN (AT ALL TIMES) TEMPORARY EROSION AND SEDIMENTATION CONTROL FEATURES SO AS TO PREVENT ERODED SOILS FROM ENTERING STORM WATER STRUCTURES, PIPES, AND DETENTION PONDS. SEDIMENTATION SHALL BE REMOVED FROM THESE AREAS PRIOR TO PROJECT COMPLETION.
11. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
12. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
13. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
14. THERE ARE NO SIGNIFICANT IMPACTS TO OFFSITE WATER SHED PATTERNS.
15. THE ENTERING AND EXITING OF EQUIPMENT AND HAULING TRAFFIC FROM THE WORK SITE SHALL BE DONE IN A SAFE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EQUIPMENT OPERATORS AND HAUL TRUCK DRIVERS, ETC., USE CAUTION AND ACCEPTABLE SPEEDS DURING WORK.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DE-WATERING AS NEEDED TO PROPERLY PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER FILTERING AND DISPOSAL OF DE-WATERING DISCHARGE IN ACCORDANCE WITH APPLICABLE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PERTAINING TO DE-WATERING.

DETENTION BASIN NOTES

- 1. INITIAL BASIN EXCAVATION SHOULD BE CARRIED TO WITHIN 1 FT. OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION TO BE CONDUCTED AFTER SITE WORK HAS BEEN COMPLETED. FINAL GRADE SHALL BE AS SHOWN ON PLANS.
2. THE FINISHED GRADE SHOULD BE DEFERRED UNTIL ALL SLOPES IN THE WATERSHED HAVE BEEN SEEDED AND PROTECTED WITH PRESCRIBED EROSION CONTROL MEASURES.
3. THE CONTRACTOR SHALL NOT ALLOW HEAVY EQUIPMENT TO COMPACT SOILS IN THE BOTTOM OF THE DETENTION POND.
4. MATERIALS WHICH INHIBIT DRAINAGE, SUCH AS CLAY OR ORGANIC SOILS, SHALL NOT BE PLACED WITHIN PROPOSED DETENTION POND BOTTOMS.
5. THE FINAL PHASE EXCAVATION SHALL BE PERFORMED CAREFULLY TO REMOVE ALL ACCUMULATED SEDIMENT. LIGHT EQUIPMENT SHALL BE USED FOR THIS OPERATION TO AVOID DEEP COMPACTION OF THE BASIN FLOOR.
6. TOPSOIL SHALL BE SUITABLE FOR PLANT GROWTH WHILE PROVIDING HIGH PERCOLATION RATES.
7. PERCOLATION RATE FOR THE DETENTION BASIN SHALL BE 1 1/2" PER HOUR OR GREATER.
8. 3" OF A WELL DRAINING MIX OF 50% SAND AND 50% TOPSOIL SHALL BE PLACED OVER ENTIRE DETENTION BASIN INCLUDING SIDE SLOPES AND AREAS OVER EXISTING UNCOMPACTED SOILS AND SEEDED AS DETAILED ON THE LANDSCAPE PLAN.
9. ANY AREAS WHERE TOPSOIL EXCEEDS SPECIFIED DEPTH SHALL BE REMOVED AND REPLACED AT SPECIFIED DEPTH AT CONTRACTORS EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
10. AFTER THE FINAL TOPSOIL AND FINAL GRADING IS COMPLETED, THE ENTIRE DETENTION BASIN INCLUDING SIDE SLOPES SHALL BE THOROUGHLY TILLED WITH ROTARY TILLERS OR DISC HARROWS TO A DEPTH OF 12" TO MIX TOPSOIL WITH THE EXISTING SAND SUBGRADE AND OPEN THE SOIL PORES AND PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE TEXTURE FOR SEEDING.
11. AFTER CONSTRUCTION OF THE DETENTION BASIN IS COMPLETE, THE CONTRACTOR SHALL INSTALL STRAW WATTLES AS DETAILED IN THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL INSTALL SEED MIX AS SPECIFIED ON THE LANDSCAPE PLAN IN AND AROUND THE DETENTION AREA IMMEDIATELY AFTER CONSTRUCTION OF BASIN AND SIDE SLOPES IS COMPLETE. IMMEDIATELY AFTER SEED PLACEMENT, CONTRACTOR SHALL PLACE BLANKET STRAW AND CRMP INTO SOIL.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND PERFORMANCE OF THE DETENTION BASIN THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS AND UNTIL PLANT MATERIAL IS FULLY ESTABLISHED.
14. THE CONTRACTOR SHALL BE REQUIRED TO COORDINATE MAJOR DETENTION POND EARTHWORK ACTIVITIES (ROUGH GRADING, FINAL GRADING, TOP SOIL PLACEMENT, ETC.) WITH THE ENGINEER - CONTACT: NICK LACROIX (574) 293-7762. PERIODIC INSPECTIONS WILL BE PERFORMED TO ENSURE COMPLIANCE WITH THESE PLANS AND BERRIEN COUNTY REQUIREMENTS. SOIL BORINGS MAY BE REQUIRED AT THE CONTRACTORS EXPENSE AT LOCATIONS DETERMINED BY THE ENGINEER TO ENSURE TOPSOIL IS PLACED AT PROPER DEPTH.

DEMOLITION NOTES

- 1. ALL LANDSCAPE SHRUBS, TREES AND VEGETATION SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLAN, OR AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
2. REMOVE EXISTING CURB, CONCRETE PAVEMENT, ASPHALT PAVEMENT, ETC. AS REQUIRED, AS SHOWN ON PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
3. REMOVE THE EXISTING GRAVEL BASE BELOW PAVED SURFACES AS REQUIRED FOR NEW CONSTRUCTION TO OBTAIN PROPOSED FINISHED GRADES AND TO ACCOMMODATE THE PROPOSED PAVEMENT SECTION.
4. ALL EXISTING DRAINAGE STRUCTURES, PIPING AND GREASE TRAPS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
5. ALL EXISTING SITE SIGNAGE SHALL BE REMOVED, UNLESS OTHERWISE NOTED.

PAVING AND GRADING NOTES

- 1. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
2. ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS OTHERWISE NOTED ON PLANS.
3. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. IF SPECIFIC GRADING IS NOT SPECIFIED ON SITE GRADING PLAN SHEET, SLOPE SIDEWALKS AWAY FROM BUILDING AT A MAXIMUM OF 1/4" PER FOOT AND MINIMUM OF 1/8" PER FOOT ON ENTRY WALK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE THROUGHOUT THE PROJECT. FINISHED PAVEMENT ELEVATION SHALL BE MARKED ON CURBING AS NEEDED. THE CONTRACTOR SHALL AVOID PONDING AT INVERTED CROWNED PAVEMENT.
5. EXPANSION JOINTS IN CONCRETE SIDEWALKS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40' O.C. MAXIMUM AND AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING REQUIRED AT SIDEWALK WIDTH DIMENSION. EXTERIOR CONCRETE SHALL BE 3500 PSL 4.6% AIR ENTRAINED, LIMESTONE AGGREGATE, WITH A BROOM FINISH AND CURING SEAL.
6. STANDARD HMA PAVEMENT SHALL BE:
165#N/SYD (1-1/2") HMA SURFACE, TYPE B, 9.5 MM ON TACK COAT OVER
330#N/SYD (3") HMA BASE, TYPE B, 25.0 MM OVER
6" INDOT COMPACTED AGGREGATE, NO. 53 BASE OVER
COMPACTED SUBGRADE
HEAVY DUTY HMA PAVEMENT SHALL BE:
220#N/SYD (2") HMA SURFACE, TYPE B, 9.5 MM ON TACK COAT OVER
550#N/SYD (5") HMA BASE, TYPE B, 25.0 MM (IN TWO EQUAL LIFTS) OVER
6" INDOT COMPACTED AGGREGATE, NO. 53 BASE OVER
COMPACTED SUBGRADE
RECYCLED BITUMINOUS PAVEMENT (RAP) SHALL BE ALLOWED IN BITUMINOUS PAVEMENT ACCORDING TO CURRENT INDOT SPECIFICATIONS.
7. CONCRETE PAVEMENT REQUIREMENTS:
6" REINFORCED CONCRETE WITH 6"x6" - #10X#10 WIRE FABRIC OVER
6" COMPACTED AGGREGATE, NO. 53 OVER
COMPACTED SUBGRADE
CONCRETE TO BE CAPABLE OF REACHING 4000 PSI IN 28 DAYS. SUBBASE TO BE ADEQUATELY DRAINED.
8. THE OWNER OR OWNER'S REPRESENTATIVE SHALL APPROVE EACH BITUMINOUS MIXTURE LIFT PRIOR TO THE PLACEMENT OF THE FOLLOWING LIFTS.
9. THE COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE MATERIAL IN 8" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO THE SPECIFIED DENSITY OR AS DIRECTED BY THE SOILS ENGINEER. FIELD DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AS NECESSARY TO INSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED. ANY FAILED DENSITY TESTS SHALL BE RETAKEN AT THE SAME LOCATION, AFTER CORRECTIVE MEASURES, UNTIL PASSING RESULTS ARE OBTAINED.
10. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHALL BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
11. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
12. OVERLOT GRADING OR MASS FILLING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS PERTAINING TO THE SITE. BACKFILL OR MASS FILL WITHIN BUILDING PAD AREAS SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
13. MATERIALS WHICH INHIBIT DRAINAGE, SUCH AS CLAY OR ORGANIC SOILS, SHALL NOT BE PLACED UNDER PROPOSED DETENTION POND BOTTOMS. CONTRACTOR SHALL NOT ALLOW HEAVY EQUIPMENT TO COMPACT SOILS IN THE BOTTOM OF THE RETENTION POND. 3" OF A WELL DRAINING MIX OF 50% SAND AND 50% TOPSOIL SHALL BE PLACED AT DETENTION POND AREAS OVER EXISTING UNCOMPACTED SOILS AND SEEDED AS DETAILED ON THE LANDSCAPE PLAN.
14. ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND PLACED BY THE EXCAVATION CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR INDOT STRUCTURAL BACKFILL MATERIAL. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE EXCAVATION CONTRACTOR AS DIRECTED BY THE OWNER AFTER SUBSTANTIAL COMPLETION. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PREARRANGED BY THE OWNER AND IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO COORDINATE WITH THE OWNER, ENCOUNTERED TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FOR REUSE AT AREAS TO SUPPORT VEGETATION. NO EARTH MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO RECEIVING PERMISSION FROM THE OWNER/ENGINEER.
15. ALL GRANULAR FILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) DENSITY. ALL SUBGRADE AND SUBBASE MATERIALS SHALL BE COMPACTED TO 98% MODIFIED PROCTOR (ASTM D1557) DENSITY BEFORE PARKING LOT AND DRIVEWAY ASPHALT PLACEMENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCTOR TESTING AND IN-PLACE DENSITY TESTING OF COMPACTED AGGREGATE SUBBASE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. NO PAVEMENT MATERIAL SHALL BE PLACED ON COMPACTED AGGREGATE PRIOR TO THE GEOTECHNICAL ENGINEER'S APPROVAL OF SUBBASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK REQUIRED TO REACH AN ACCEPTABLE MOISTURE CONTENT AT ANY TIME PRIOR TO PAVING (I.E. WETTING OR AERATING OF SUBBASE) AS PER INDOT SPECIFICATIONS. THIS SHALL ALSO APPLY TO THE CONTROL OF MOISTURE CONTENT ON SUBGRADE AND COMPACTED FILL.
17. ALL TOPSOIL AND OTHER UNSUITABLE MATERIAL LOCATED BENEATH THE PROPOSED PAVEMENT AND BUILDING AREA SHALL BE REMOVED. ALL TOPSOIL REMOVED MAY BE STOCKPILED AND REUSED AS TOPSOIL SURFACE - 6". THE SURFACE SOIL MATERIALS IN THE FLOOR SLAB AND PAVEMENT AREAS OF THE SITE SHALL BE STRIPPED AND REMOVED FROM THE CONSTRUCTION AREAS. THE EXPOSED SUBGRADE SHALL BE VISUALLY EXAMINED AND PROOF ROLLED WITH A MEDIUM WEIGHT VIBRATORY ROLLER. ANY UNSUITABLE MATERIALS (I.E., ACCUMULATIONS OF FROZEN SOIL, TOPSOIL, NON-SOIL FILL, SOFT OR LOOSE MATERIALS, ETC.) THUS EXPOSED SHOULD BE REMOVED AND REPLACED WITH A WELL COMPACTED, STRUCTURAL BACKFILL AS DEFINED BY INDOT.
18. SUBGRADE FOR ALL PAVEMENT SHALL BE PROOF-ROLLED PRIOR TO PAVING. ANY ENCOUNTERED 'PUMPING' AREAS SHALL BE UNDERCUT AND BACKFILLED WITH STRUCTURAL BACKFILL AT THE NEAT LINE LIMITS AS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING PONDING OF STORM WATER ON SUBGRADE AND SUBBASE.
19. CONCRETE TESTING - CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY THAT THE SLUMP & AIR ENTRAINMENT MEET CURRENT & APPLICABLE INDOT STANDARDS. CONTRACTOR TO PROVIDE (3) CYLINDER SAMPLES FROM EACH DAY'S POUR, OR FOR EACH 50 C.Y. OF CONCRETE POURED AND SHALL PERFORM CYLINDER TESTING TO VERIFY STRENGTH REQUIREMENTS AND REPORT PROMPTLY TO OWNER.
20. THE CONTRACTOR SHALL CONSTRUCT THE INTERIOR BUILDING FLOOR SLAB TO AVOID DETRIMENTAL DIFFERENTIAL MOISTURE AND TEMPERATURE CONDITIONS BETWEEN TOP AND BOTTOM OF SLAB DURING CONCRETE CURING, SO AS TO AVOID SLAB CURLING.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS ADVISED THAT THE WORK MUST BE DONE IN COMPLIANCE WITH THE FOLLOWING SPECIFICATIONS, SOME OF WHICH RESULT FROM THE REQUIREMENTS OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S STORM WATER PERMITS SECTION. AN APPROVED PERMIT FROM THIS AGENCY IS BASED ON THE CONTRACTOR'S COMPLIANCE WITH THE SPECIFICATIONS AND THE ACTUAL PERMIT DOCUMENTS.
2. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER STORM EVENTS OF 1/2" OR MORE PRECIPITATION OR AFTER HEAVY USE AND REPAIR IMMEDIATELY.
3. THE CONTRACTOR SHALL KEEP A LOG OF THE CONTRACTOR'S INSPECTION OF TEMPORARY EROSION CONTROL MEASURES. THE LOG SHALL BE AVAILABLE AT THE JOB SITE FIELD OFFICE DURING ALL WORK DAY HOURS FOR REVIEW BY VISITING IDEM INSPECTORS, SWCD INSPECTORS, CITY INSPECTORS AND THE ENGINEER. THE LOG SHALL BE BREF, BUT SHALL INCLUDE THE NAME OF CONTRACTOR'S INSPECTOR, DATE OF INSPECTION, MAN HOURS OF CONTRACTOR'S INSPECTION TIME AND COMMENTS ON ANY AND ALL FAILED OR FAILING EROSION CONTROL FEATURES ALONG WITH THE MEASURES TAKEN FOR PROMPT CORRECTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES UNTIL COMPLETION OF PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH UTILITIES WITH RESPECT TO AVOIDING CONFLICTS AND DISTURBANCE OF SERVICES.
6. THE CONTRACTOR SHALL HAVE ON FILE, AT THE SITE, THE "INDIANA STORM WATER QUALITY MANUAL."
7. THE CONTRACTOR SHALL CLEAN OUT ALL CATCH BASINS AND STORM SEWER UPON COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL AND REMOVE EXCESS FROM SITE TO A PROPERLY PERMITTED SITE AS APPROVED BY THE OWNER UPON SUBSTANTIAL COMPLETION OF THE WORK.
9. ANY TOPSOIL STOCKPILES ARE TO BE PROTECTED FROM EROSION. TEMPORARY TOPSOIL STOCKPILES WILL BE PERMITTED IN AREAS APPROVED BY THE ENGINEER.
10. THE CONTRACTOR SHALL CONTROL DUST ON THE PROJECT SITE WHEN NECESSARY USING METHODS WHICH COMPLY WITH THE "INDIANA STORM WATER QUALITY MANUAL."
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL AND CONTAINING OF LIQUID OR SOLUBLE CONSTRUCTION MATERIALS FOR THE PROTECTION OF THE GROUNDWATER RESOURCE. ANY ACCIDENTAL SPILLAGE SHALL BE CLEANED UP IMMEDIATELY BY ACCEPTABLE MEANS, REGARDLESS OF THE TIME OF DAY OR DAY OF WEEK.
12. THE CONTRACTOR IS ADVISED THAT THE ENVIRONMENTAL REVIEW FOR THIS PROJECT HAS DETERMINED THAT THE PROJECT HAS LIMITED POTENTIAL TO ADVERSELY AFFECT THE WATER BEARING AQUIFER. THE CONTRACTOR'S OPERATIONS SHALL BE SUCH AS TO AVOID THE CREATION OF THE POTENTIAL FOR STORM WATER TO ENTER THE GROUND WATER.
13. STOCKPILES OF EARTH MATERIALS SHALL BE SHAPED AS PER STATE STANDARDS. TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FROM OTHER SOILS.
14. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS PRIOR TO OTHER SITE OPERATIONS. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND GRADE AND CROWN FOR POSITIVE DRAINAGE. CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
15. THE CONTRACTOR'S BID SHALL INCLUDE THE USE OF TEMPORARY GRAVEL ENTRANCE PADS (INCIDENTAL TO THE CONTRACT) WHERE APPROVED HAULING ROUTES CONNECT TO ROADWAYS. THE WORK SHALL INCLUDE THE EVENTUAL REMOVAL OF SUCH GRAVEL PADS, AND THE INCIDENTAL GRADING, SEEDING, OR SOODING REQUIRED TO RETURN THE PAD AREAS TO ORIGINAL CONDITION. THE TEMPORARY GRAVEL PADS SHALL HAVE A MINIMUM 6" THICK APPLICATION OF 2" TO 3" COARSE AGGREGATE AT A MINIMUM 12' WIDE AND 50' LONG, WITH SUFFICIENT RADI AT THE ROADWAY. GEOTEXTILE FOR STABILIZATION BELOW THE GRAVEL PADS SHALL BE INCLUDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY CLEANING UP ANY MATERIALS FROM PUBLIC ROADWAYS, WHICH ARE THE RESULT OF WORK OPERATIONS.
16. THE CONTRACTOR SHALL PERMANENTLY SEED, FERTILIZE, AND MULCH ALL FINAL GRADE AREAS (I.E., LANDSCAPE BERMS, RETENTION SWALES, ETC.) AS EACH IS COMPLETED. SEEDING, FERTILIZING, AND MULCHING SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
17. TEMPORARY GRASS SEEDING SHALL BE PERFORMED ON ALL AREAS SCHEDULED, OR LIKELY, TO REMAIN INACTIVE FOR A PERIOD OF 15 DAYS OR MORE. TEMPORARY SEEDING SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL INCLUDE THE FOLLOWING SPECIES AND RATES:
SPECIES RATE/ACRE OPTIMUM PLANTING
WHEAT OR RYE 150# 9/15 TO 10/30
SPRING OATS 100# 3/1 TO 4/15
ANNUAL RYE GRASS 40# 3/1 TO 5/1, 8/1 TO 9/1
A FERTILIZER APPLICATION OF 400#/ACRE OF 12-12-12 ANALYSES MATERIAL SHALL ACCOMPANY THE SEEDING APPLICATION. MULCHING OF TEMPORARY SEEDING SHALL BE AS NEEDED.
18. PERMANENT SEEDING SHALL BE INDOT TYPE 'R' MULCHED SEEDING AS PER CURRENT INDOT STANDARD SPECIFICATIONS OR ALTERNATE SEEDING IF PROVIDED WITH LANDSCAPING PLANS NOTES. PERMANENT SEEDING SHOULD BE APPLIED FROM MARCH 1ST THRU MAY 10TH OR FROM AUGUST 10TH THRU SEPTEMBER 30TH. ANY PERMANENT SEEDING BETWEEN JUNE 1ST AND AUGUST 10TH MUST BE IRRIGATED TO ALLOW FOR PROPER SEED GERMINATION.
19. SEEDING SHALL BE DONE PROMPTLY AND PROGRESSIVELY AS WORK IS COMPLETED IN ORDER TO ALLOW FOR THE EARLIEST POSSIBLE ESTABLISHMENT OF STABILIZED GRASS. MULTIPLE MOBILIZATIONS FOR THE SEEDING OF SPECIFIC SECTIONS SHALL BE INCLUDED IN THE WORK.
20. THE JOB WIDE SEQUENCE OF GENERAL WORK OPERATIONS RELATING TO EARTH DISTURBING ACTIVITIES SHALL BE SUCH AS TO PREVENT THE POTENTIAL FOR EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS, WHILE ALSO CONSIDERING MAINTENANCE OF TRAFFIC:
A. SITE CLEARING AND BUILDING DEMOLITION
B. TEMPORARY SEEDING AS NEEDED - INCIDENTAL APPLICATIONS THROUGHOUT CONSTRUCTION
C. UNDERGROUND CONSTRUCTION
D. ROUGH GRADING/FINE GRADING
E. BUILDING CONSTRUCTION
F. PAVEMENT CONSTRUCTION
G. COMPLETION OF PERMANENT SEEDING
H. MISCELLANEOUS CONSTRUCTION
I. FINAL CLEANUP
21. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AT THE TIME OF SITE CLEARING AS EARLY IN THE ABOVE SEQUENCE AS NEEDED, AND SHALL BE MAINTAINED THROUGHOUT THE SEQUENCE AS NEEDED. DURING THE COURSE OF WORK, CLEANUP SHALL BE DONE AS NEEDED AND AS DIRECTED TO AVOID EROSION AND SEDIMENTATION.
22. THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN SHALL BE CONSIDERED A MINIMUM APPLICATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION.
23. THE CONTRACTOR SHALL LOCATE AND MAINTAIN A CONCRETE WASHOUT AREA FOR THE DURATION OF CONCRETE POURING ACTIVITIES. THE CONTRACTOR SHALL REMOVE ALL DRIED CONCRETE FROM THE WASHOUT AREA BY THE END OF THE PROJECT.
24. THE CONTRACTOR SHALL PROVIDE RIP-RAP DAMS ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIT FROM THE SITE TO ELIMINATE SEDIMENT RUN-OFF.
25. THE CONTRACTOR SHALL AVOID UNNECESSARILY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER ALONG THE PROJECT PERIMETER. THESE AREAS ACT AS SEDIMENT FILTERS.
26. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE WORK AND THE AFFILIATED AREA IS PERMANENTLY STABILIZED.
27. REMOVAL OF TEMPORARY EROSION AND SEDIMENTATION PROTECTION IS REQUIRED FOR FINAL PROJECT ACCEPTANCE.

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Table with columns: REV, DESCRIPTION, BY, DATE

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PRELIMINARY FOR REVIEW PURPOSE ONLY

MARTIN MARKETING FACILITY
DJ CONSTRUCTION
341+ ELKHART ROAD
GOSHEN, INDIANA
GENERAL NOTES

Table with project details: DESIGNED BY: JTB, DRAWN BY: JTB, DATE: 08/20/2024, JOB NUMBER: 2024-0044, HORIZ. SCALE: NONE, VERTICAL SCALE: NONE, G102

Topographic Survey Notes

This topographic survey was performed in February, 2024 and is for their use only.

This is not a boundary survey. Right-of-way lines and property lines are based on a plat called "Parkway at 17 DPUD - Phase IV" performed by JPR Corp. in August 18, 2015.

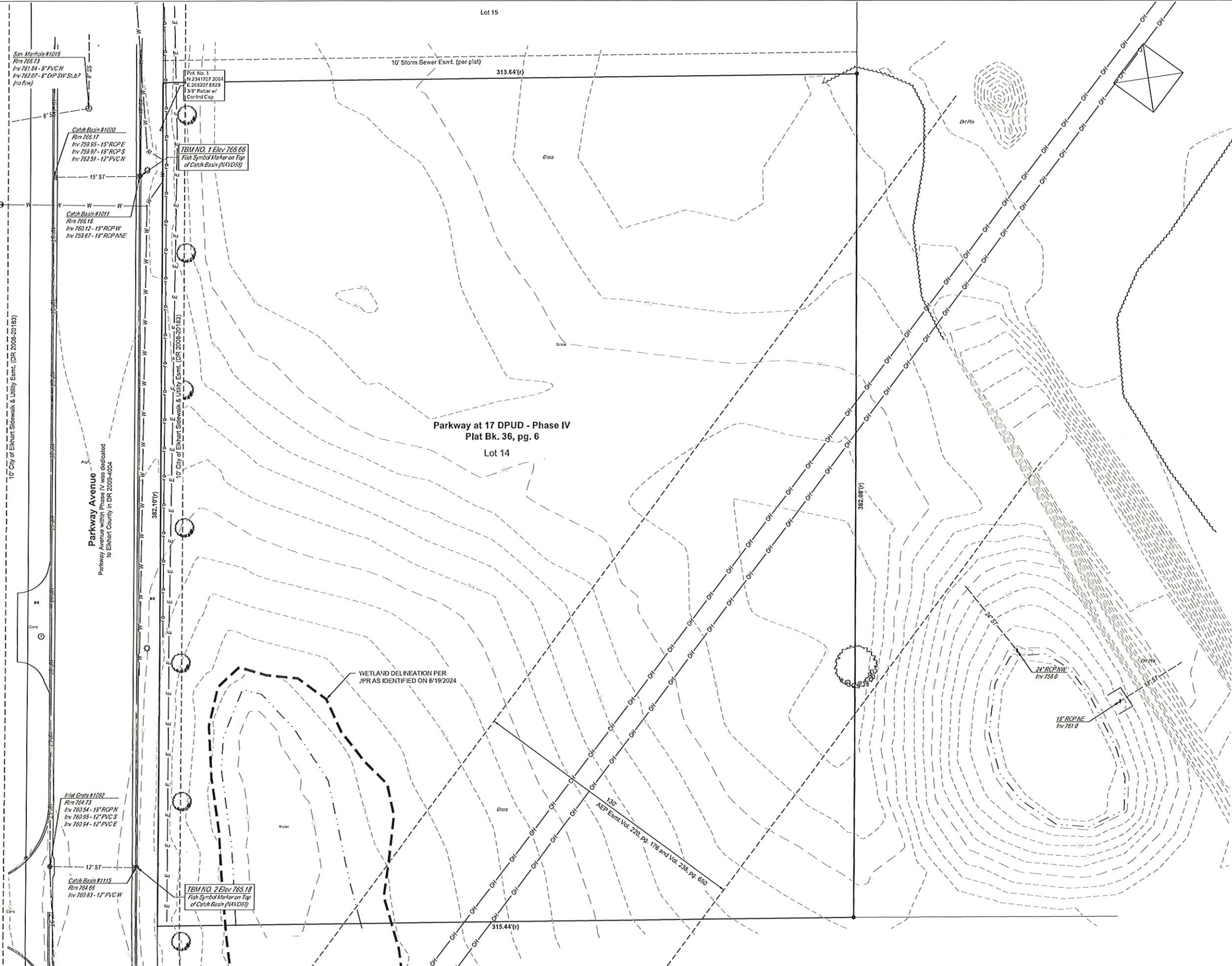
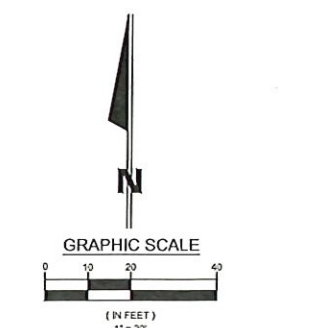
Horizontal datum is based upon the Indiana State Plane Coordinate System, East Zone, GPS derived utilizing the INCORS Network.

Basis of Elevation is GPS derived utilizing the INCORS Network, NAVD83 datum.

Utility Notes
Locations of existing underground utilities shown on this drawing are based on evidence of above ground features, locations marked in the field by others or based on record information provided by the utility company. No excavation should occur without notification of appropriate agencies and utility companies.

Utility locates were requested on February 8, 2024 utilizing the "Call Before You Dig" 811, utility locating service. The following ticket number(s) were assigned for this project: 2402081994, 2402082032.

- Legend**
- Existing Monument (Origin Unknown Unless Otherwise Noted)
 - ▲ Control Point
 - (f) Record Dimension
 - ⊙ Sanitary Manhole
 - ⊙ Catch Basin
 - ⊙ Inlet Grate
 - ⊙ Light Pole
 - ⊙ Telephone Manhole
 - ⊙ Post Indicator Valve
 - Tree (6'-12')
 - SS — Sanitary Line
 - ST — Storm Line
 - OH — Overhead Line
 - E — Electric Line
 - FO — Fiber Optic Line
 - W — Water Line
 - Edge of Water
 - Tree Line



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Saved By: jrb@jpr.com Date: 2024-09-10 11:21:41 AM

REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**
Fort Wayne, IN
P: 204.422.2022
South Bend, IN
P: 574.232.4388

MARTIN MARKETING FACILITY
3414 ELKHART ROAD GOSHEN INDIANA
DJ CONSTRUCTION
TOPOGRAPHIC SURVEY

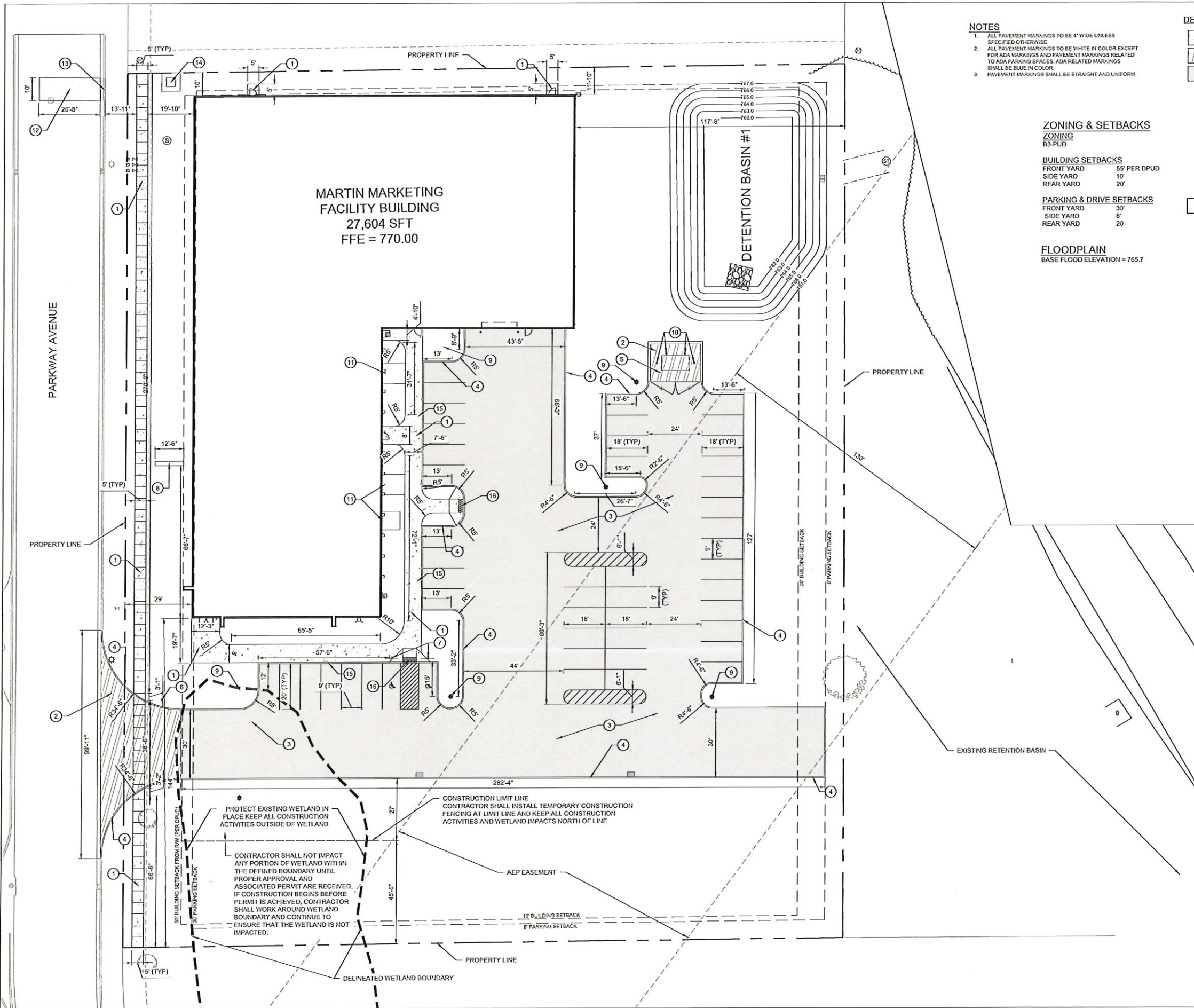
DESIGNED BY: JB
REVIEWED BY: AC
DRAWN BY: VB
REVIEWED BY: CE

DATE: 08/23/2024

JOB NUMBER: 2024-0044
HORIZ. SCALE: 1" = 20'
VERTICAL SCALE: NONE

C100

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- NOTES**
1. ALL PAVEMENT MARKINGS TO BE 4" WIDE UNLESS SPECIFIED OTHERWISE
 2. ALL PAVEMENT MARKINGS TO BE WHITE IN COLOR EXCEPT FOR ADA MARKINGS AND PAVEMENT MARKINGS RELATED TO ADA PARKING SPACES. ADA RELATED MARKINGS SHALL BE BLUE IN COLOR
 3. PAVEMENT MARKINGS SHALL BE STRAIGHT AND UNIFORM

ZONING & SETBACKS

ZONING: B3-PUD

BUILDING SETBACKS
 FRONT YARD: 55' PER DPUD
 SIDE YARD: 10'
 REAR YARD: 20'

PARKING & DRIVE SETBACKS
 FRONT YARD: 30'
 SIDE YARD: 5'
 REAR YARD: 20'

FLOODPLAIN
 BASE FLOOD ELEVATION = 765.7

DETAILS LEGEND:

- 1 4" CONCRETE
- 2 6" HEAVY DUTY CONCRETE
- 3 ASPHALT PAVEMENT
- 4 STANDARD CONCRETE CURB
- 5 MASONRY TRASH ENCLOSURE
- 6 STOP SIGN
- 7 VAN ACCESSIBLE ADA PARKING SIGN
- 8 MONUMENT SIGN
- 9 LIGHT POLE
- 10 PIPE BOLLARD
- 11 MECHANICAL UNITS
- 12 RIGHT-OF-WAY ASPHALT RESTORATION
- 13 STANDARD CONCRETE CURB & GUTTER
- 14 AEP TRANSFORMER AND PAD
- 15 INTEGRAL CONCRETE CURB
- 16 CURB RAMP

DETAIL 1 / SD101
DETAIL 2 / SD101
DETAIL 3 / SD101
DETAIL 4 / SD101
DETAIL 12 / SD101
DETAIL 13 / SD101
DETAIL 11 / SD102
BY OWNER
REFER TO LIGHTING PLAN
DETAIL 9 / SD101
REFER TO MEP PLANS
DETAIL 8 / SD101
DETAIL 10 / SD101
DETAIL 11 / SD101
DETAIL 5 / SD101
DETAIL 7 / SD101

TABULATED SITE DATA

1. ACREAGE OF SITE: (120,175 SF) 2.76 AC
2. SUMMARY OF PARKING:
 - A. NUMBER OF EMPLOYEES: 22 - 22 SPACES REQUIRED
 - B. 1 SPACE PER 300 SF OF FUEL/OFFICE SPACE: 6,295 SF - 21 SPACES
 - C. TOTAL SPACES REQUIRED: 43 SPACES
 - D. TOTAL PROPOSED PARKING: 43 SPACES
 - E. NUMBER OF ADA SPACES: 2 SPACES
3. PROPOSED LAND COVERAGE:

	SQUARE FOOTAGE	% OF SITE
A. PARKING AND DRIVES	32,053	26.63%
B. OPEN SPACE	60,491	50.34%
C. BUILDINGS	27,604	22.97%
TOTAL	120,175	100.00%
4. SURFACE RUN-OFF AND DRAINAGE TO BE COLLECTED ON-SITE AND DISCHARGED INTO RETENTION BASIN.
5. PARKING SPACES ARE TO MEET THE CITY OF ELKHART STANDARDS.
9. PROPOSED ACCESS DRIVE WILL UTILIZE NEW CURB CUT OFF OF PARKWAY AVENUE.

REV	DESCRIPTION	BY	DATE

JONES PETRIE RAFINSKI

South Bend, IN
 Fort Wayne, IN
 Ft. Wayne, IN
 P: 260.422.2522
 P: 260.422.2522

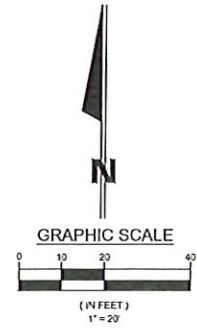
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MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN, INDIANA
 SITE DIMENSIONAL PLAN

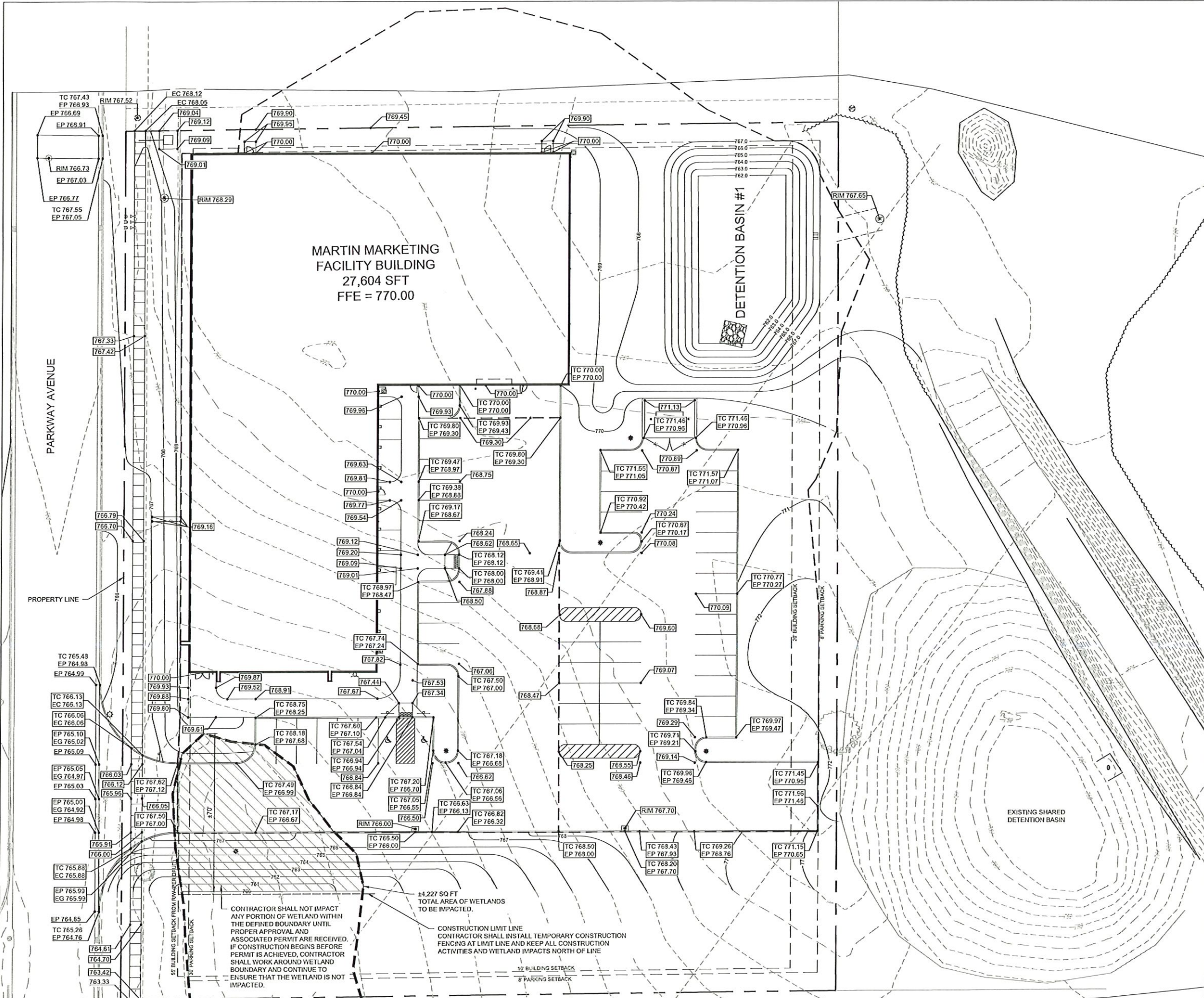
DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 08/20/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C201



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LEGEND

XXXXXX	EXISTING GRADE
XXXXXX	PROPOSED GRADE
□	PROPOSED CATCH BASIN/STORM INLET
○	PROPOSED CATCH BASIN/STORM INLET
⊙	PROPOSED STORM MAN-HOLE
---	PROPOSED WATERSHED BOUNDARY
TC	PROPOSED TOP OF CURB
EP	PROPOSED EDGE OF PAVEMENT
EG	PROPOSED EDGE OF GUTTER
EC	PROPOSED EDGE OF CONCRETE

PROPOSED DETENTION BASIN #1

Volume (V) Calculations

$$V = (E1 - E2) * ((A1 + 50RT(A1 * A2) + A2)/3)$$

Top of Basin (E1)	765.0	ft
Bottom of Basin (E2)	762.0	ft
Surface Area Top (A1)	5,702	SFT
Surface Area Bottom (A2)	2,680	SFT
Total Volume (V)	16,387	CFT

STORMWATER RUNOFF CALCULATION - "RATIONAL METHOD"

Runoff (Q) Calculations

$$Q = C1 * I * A1 + C2 * I * A2$$

Runoff Coefficient 1 (C1)	0.9	
Runoff Coefficient 2 (C2)	0.3	
Rainfall Intensity (I)	0.25	in/24-hours
Impervious Area (A1)	60,098	SFT
Pervious Area (A2)	34,669	SFT
Runoff to be Retained (Q)	16,122	CFT

REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**

South Bend, IN
 Fort Wayne, IN
 pr: 280.422.2522
 p: 574.232.4388

PRELIMINARY
FOR REVIEW
PURPOSE
ONLY

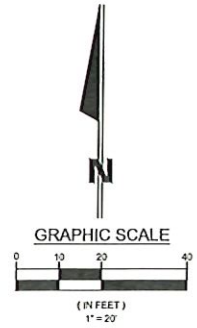
MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN, INDIANA

DJ CONSTRUCTION
 SITE GRADING PLAN

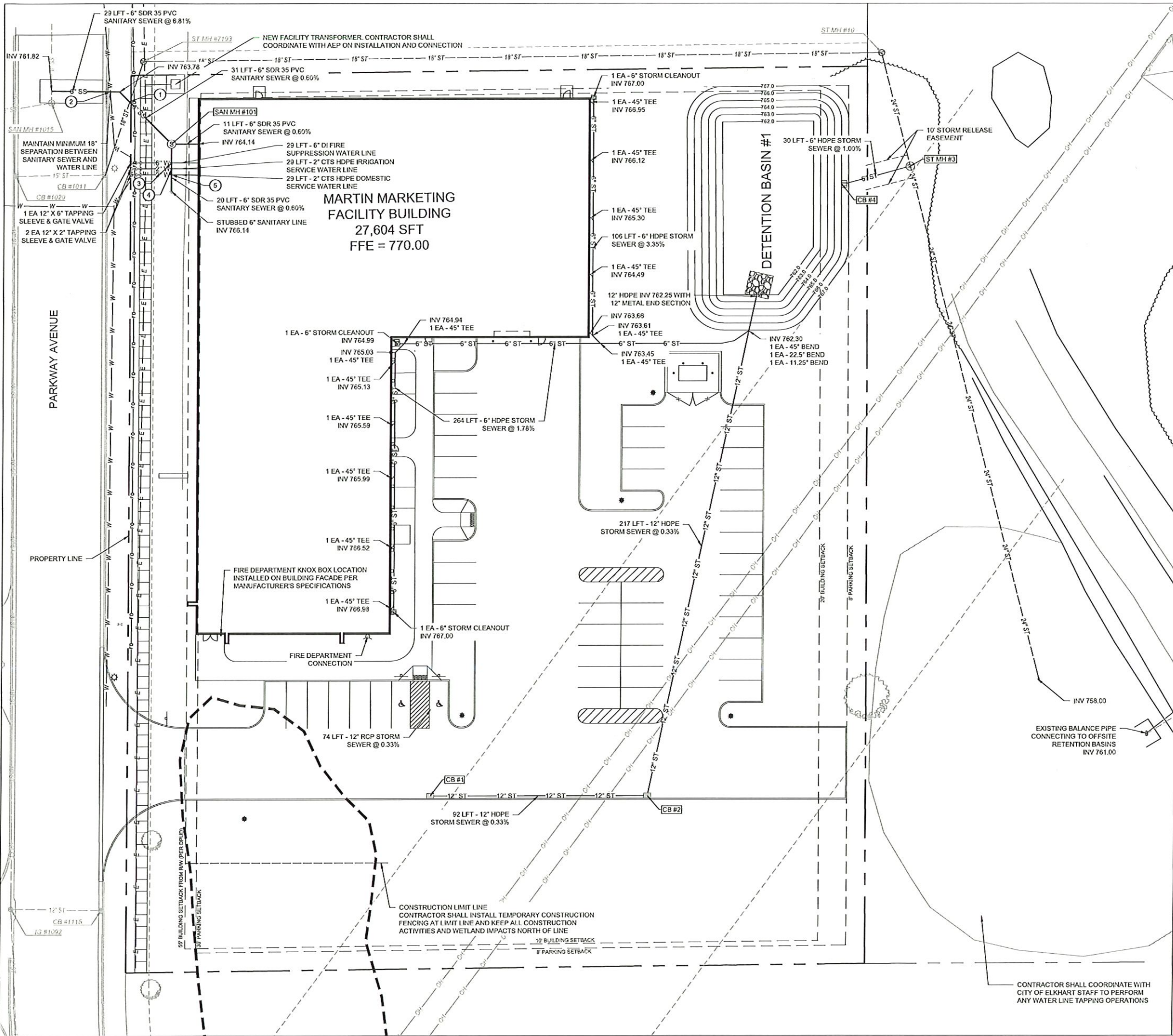
DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 09/20/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C301



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LEGEND

⊙	PROPOSED SANITARY MANHOLE
⊚	PROPOSED STORM MANHOLE
⊛	PROPOSED CATCH BASIN
⊜	PROPOSED IRON GRATE
— SS —	PROPOSED SANITARY LINE
— ST —	PROPOSED STORM LINE
— W —	PROPOSED WATER LINE
— G —	PROPOSED GAS LINE
— E —	PROPOSED ELECTRIC LINE

NEW STORM STRUCTURE INFORMATION

CB #1 - 4'Ø CATCH BASIN RIM 766.00 INV 763.38 - 12" HDPE E SUMP 761.38	CB #2 - 4'Ø CATCH BASIN RIM 767.70 INV 762.97 - 12" HDPE NE INV 763.07 - 12" HDPE W SUMP 760.97
ST MH #3 - 4'Ø DOGHOUSE MANHOLE RIM 767.65 INV 764.65 - 6" HDPE SW INV 759.49 - 24" RCP NW/SE	CB #4 - 4'Ø CATCH BASIN RIM 766.25 INV 762.00 - 6" HDPE NE SUMP 760.00

EXISTING STORM STRUCTURE INFORMATION

CB #1115 - EXISTING CATCH BASIN RIM 764.76 INV 763.51 - 12" PVC W	IG #1022 - EXISTING INLET GRATE RIM 764.73 INV 763.51 - 12" PVC N INV 763.54 - 18" PVC N INV 763.95 - 12" PVC S INV 763.94 - 12" PVC E
CB #1020 - EXISTING CATCH BASIN RIM 766.17 INV 759.55 - 15" RCP E INV 759.97 - 13" RCP S INV 762.51 - 12" RCP N	CB #1011 - EXISTING CATCH BASIN RIM 765.76 INV 763.12 - 15" RCP W INV 759.67 - 15" RCP NE
ST MH #193 - EXISTING STORM MANHOLE RIM 767.52 INV 760.04 - 18" RCP E INV 760.02 - 18" RCP SW	ST MH #10 - EXISTING STORM MANHOLE RIM 765.20 INV 752.55 - 18" PVC W INV 759.55 - 18" PVC SE

PROPOSED SANITARY STRUCTURE INFORMATION

SAN MH #1 - 4'Ø SANITARY MANHOLE RIM 763.29 INV 763.97 - 6" SDR 35 PVC NW INV 764.07 - 6" SDR 35 PVC E INV 764.07 - 6" SDR 35 PVC S

EXISTING SANITARY STRUCTURE INFORMATION

SAN MH #1015 - EXISTING SANITARY MANHOLE RIM 762.73 INV 761.64 - 8" PVC N INV 762.07 - 6" RCP SW

UTILITY CROSSING NOTES:

1. SANITARY SEWER TOP OF 6" PIPE - 764.32 6" PIPE INV - 763.82	2. SANITARY SEWER TOP OF 6" PIPE - 764.01 6" PIPE INV - 763.51
STORM SEWER TOP OF 18" PIPE - 761.40 18" PIPE INV - 759.90	WATER MAIN TOP OF 12" PIPE - 2762.01 12" PIPE INV - 2761.01
3. SANITARY SEWER TOP OF 6" PIPE - 764.62 6" PIPE INV - 764.12	4. SANITARY SEWER TOP OF 6" PIPE - 764.63 6" PIPE INV - 764.13
FIRE SUPPRESSION WATER LINE TOP OF 6" PIPE - 762.76 6" PIPE INV - 762.25	IRRIGATION SERVICE WATER LINE TOP OF 2" PIPE - 762.42 2" PIPE INV - 762.25
5. SANITARY SEWER TOP OF 6" PIPE - 764.65 6" PIPE INV - 764.15	DOMESTIC WATER LINE TOP OF 2" PIPE - 762.47 2" PIPE INV - 762.28

EXISTING BALANCE PIPE CONNECTING TO OFFSITE RETENTION BASINS INV 761.00

GRAPHIC SCALE
 0 10 20 40
 (IN FEET)
 1" = 20'

- NOTES:**
- CONTRACTOR SHALL MAINTAIN 18" MIN VERTICAL AND 10' MIN HORIZONTAL SEPARATION BETWEEN WATER MAIN AND STORM AND/OR SANITARY SEWER.
 - WHERE EXISTING AND/OR PROPOSED GRAVITY SANITARY SEWERS ARE TO BE WITHIN 48" OF FINISHED GRADE, OR EXISTING AND/OR PROPOSED WATER MAIN ARE TO BE CONSTRUCTED WITHIN 60" OF FINISHED GRADE, SEWERS SHALL BE INSTALLED WITH A MINIMUM OF 4" BLUEBOARD INSULATION RUNNING ALONG THE LENGTH OF THE PIPE.
 - PROTECT ALL EXISTING UTILITIES UNLESS SPECIFICALLY NOTED FOR REMOVAL AND/OR ABANDONMENT ON DEMOLITION PLANS.
 - ALL PROPOSED UTILITY CONSTRUCTION, INCLUDING PRIVATE STORM SEWER INSTALLATIONS, SHALL BE IN CONFORMANCE WITH CURRENT CITY OF ELKHART CONSTRUCTION STANDARDS.
 - PRIOR TO INSTALLATION OF PROPOSED STORM AND SANITARY SEWER CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT ELEVATION OF EXISTING SEWER AT PROPOSED CONNECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCIES REQUIRING REDESIGN.
 - ALL HDPE WATER SERVICE PIPE SHALL BE INSTALLED WITH TRACER WIRE.
 - ALL WATER LINE TAPPING SHALL BE PERFORMED BY THE CITY OF ELKHART STAFF.

CONTRACTOR SHALL COORDINATE WITH CITY OF ELKHART STAFF TO PERFORM ANY WATER LINE TAPPING OPERATIONS

DESIGNER	JONES	DATE	09/20/2024
DESIGNER	PETRIE	DATE	09/20/2024
DESIGNER	RAFINSKI	DATE	09/20/2024
REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**

South Bend, IN
 200.422.4398
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MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN, INDIANA

DJ CONSTRUCTION
 SITO UTILITY PLAN

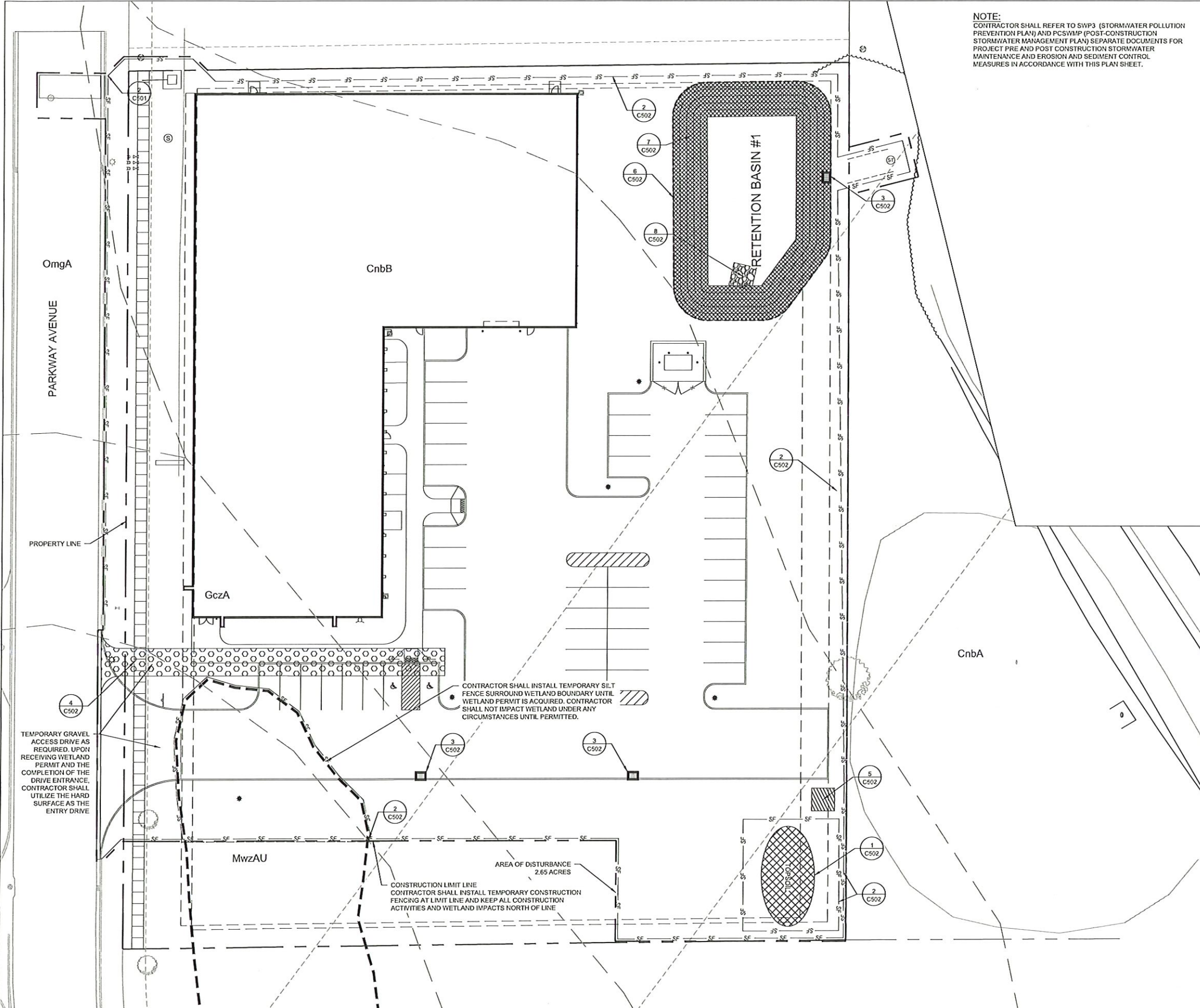
DESIGNED BY: JTB
 REVIEWED BY: AC

DRAWN BY: JTB
 REVIEWED BY: CE

JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C401

File: I:\Projects\2024\projects\2024-09-10\24-09-10-11-22-AM - EROSION.dwg
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NOTE:
 CONTRACTOR SHALL REFER TO SWP3 (STORMWATER POLLUTION PREVENTION PLAN) AND PCSWMP (POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN) SEPARATE DOCUMENTS FOR PROJECT PRE AND POST CONSTRUCTION STORMWATER MAINTENANCE AND EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THIS PLAN SHEET.

- EROSION CONTROL LEGEND**
- SF - SILT FENCE, PROPERLY ANCHORED
 - - TEMPORARY EROSION CONTROL INLET PROTECTION
 - ▣ - OUTLET PROTECTION
 - ▨ - EROSION CONTROL BLANKET
 - - - - COIR LOG/SILT WORM

- SOILS LEGEND**
- CnbA COLOMA SAND, 0 TO 2% SLOPES
 - CnbB COLOMA SAND, 2 TO 5% SLOPES
 - GczA GILFORD SANDY LOAM, 0 TO 2% SLOPES, GRAVELLY SUBSOIL
 - MwzAU MUSKEGO MUCK, UNDRAINED, 0 TO 1% SLOPES
 - OmgA OSOLO LOAMY SAND, 0 TO 1% SLOPES

HAZ-MAT/CHEMICAL SPILL NOTIFICATION
 State Fire Marshals Office: 1-800-659-7362

IDEM Environmental Emergencies:
 1-888-233-7745

PETROLEUM PRODUCT SPILLS IN THE AMOUNT OF 55 GALLONS OR MORE MUST BE REPORTED TO IDEM REGARDLESS OF CLEANUP METHODS.

HYDROLOGIC UNIT CODE:
 40500012002

LATITUDE / LONGITUDE:
 41°40'34.7"N / 85°53'7.8"W

REV	DESCRIPTION	BY	DATE

**JONES
 PETRIE
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PRELIMINARY
 FOR REVIEW
 PURPOSE
 ONLY

MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN, INDIANA

DJ CONSTRUCTION
 SITE EROSION CONTROL PLAN

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 09/20/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C501

EROSION CONTROL NOTES

- THE CONTRACTOR IS ADVISED THAT THE WORK MUST BE DONE IN COMPLIANCE WITH THE FOLLOWING SPECIFICATIONS, SOME OF WHICH RESULT FROM THE REQUIREMENTS OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S STORM WATER PERMITS SECTION. AN APPROVED PERMIT FROM THIS AGENCY IS BASED ON THE CONTRACTOR'S COMPLIANCE WITH THE SPECIFICATIONS AND THE ACTUAL PERMIT DOCUMENTS.
- THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER STORM EVENTS OF 1/2" OR MORE PRECIPITATION OR AFTER HEAVY USE AND REPAIR IMMEDIATELY.
- THE CONTRACTOR SHALL KEEP A LOG OF THE CONTRACTOR'S INSPECTION OF TEMPORARY EROSION CONTROL MEASURES. THE LOG SHALL BE AVAILABLE AT THE JOB SITE FIELD OFFICE DURING ALL WORK DAYS FOR REVIEW BY VISITING IDEM INSPECTORS, SWCD INSPECTORS, CITY INSPECTORS AND THE ENGINEER. THE LOG SHALL BE BRIEF, BUT SHALL INCLUDE THE NAME OF CONTRACTOR'S INSPECTOR, DATE OF INSPECTION, MAN HOURS OF CONTRACTOR'S INSPECTION TIME AND COMMENTS ON ANY AND ALL FAILED OR FAILING EROSION CONTROL FEATURES ALONG WITH THE MEASURES TAKEN FOR PROMPT CORRECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES UNTIL COMPLETION OF PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH UTILITIES WITH RESPECT TO AVOIDING CONFLICTS AND DISTURBANCE OF SERVICES.
- THE CONTRACTOR SHALL HAVE ON FILE, AT THE SITE, THE "INDIANA STORM WATER QUALITY MANUAL."
- THE CONTRACTOR SHALL CLEAN OUT ALL CATCH BASINS AND STORM SEWER UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL AND REMOVE EXCESS FROM SITE TO A PROPERLY PERMITTED SITE AS APPROVED BY THE OWNER UPON SUBSTANTIAL COMPLETION OF THE WORK.
- ANY TOPSOIL STOCKPILES ARE TO BE PROTECTED FROM EROSION. TEMPORARY TOPSOIL STOCKPILES WILL BE PERMITTED IN AREAS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONTROL DUST ON THE PROJECT SITE WHEN NECESSARY USING METHODS WHICH COMPLY WITH THE "INDIANA STORM WATER QUALITY MANUAL."
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL AND CONTAINING OF LIQUID OR SOLUBLE CONSTRUCTION MATERIALS FOR THE PROTECTION OF THE GROUNDWATER RESOURCE. ANY ACCIDENTAL SPILLAGE SHALL BE CLEANED UP IMMEDIATELY BY ACCEPTABLE MEANS, REGARDLESS OF THE TIME OF DAY OR DAY OF WEEK.
- THE CONTRACTOR IS ADVISED THAT THE ENVIRONMENTAL REVIEW FOR THIS PROJECT HAS DETERMINED THAT THE PROJECT HAS LIMITED POTENTIAL TO ADVERSELY AFFECT THE WATER BEARING AQUIFER. THE CONTRACTOR'S OPERATIONS SHALL BE SUCH AS TO AVOID THE CREATION OF THE POTENTIAL FOR STORM WATER TO ENTER THE GROUND WATER.
- STOCKPILES OF EARTH MATERIALS SHALL BE SHAPED AS PER STATE STANDARDS. TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FROM OTHER SOILS.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS PRIOR TO OTHER SITE OPERATIONS. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND GRADE AND CROWN FOR POSITIVE DRAINAGE. CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
- THE CONTRACTOR'S BID SHALL INCLUDE THE USE OF TEMPORARY GRAVEL ENTRANCE PADS (INCIDENTAL TO THE CONTRACT) WHERE APPROVED HAULING ROUTES CONNECT TO ROADWAYS. THE WORK SHALL INCLUDE THE EVENTUAL REMOVAL OF SUCH GRAVEL PADS, AND THE INCIDENTAL GRADING, SEEDING, OR SOODING REQUIRED TO RETURN THE PAD AREAS TO ORIGINAL CONDITION. THE TEMPORARY GRAVEL PADS SHALL HAVE A MINIMUM 6" THICK APPLICATION OF 2" TO 3" COARSE AGGREGATE AT A MINIMUM 25' WIDE AND 150' LONG, WITH SUFFICIENT RADIUS AT THE ROADWAY. GEOTEXTILE FOR STABILIZATION BELOW THE GRAVEL PADS SHALL BE INCLUDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY CLEANING UP ANY MATERIALS FROM PUBLIC ROADWAYS, WHICH ARE THE RESULT OF WORK OPERATIONS.
- THE CONTRACTOR SHALL PERMANENTLY SEED, FERTILIZE, AND MULCH ALL FINAL GRADE AREAS (I.E., LANDSCAPE BERMS, RETENTION SWALES, ETC.) AS EACH IS COMPLETED. SEEDING, FERTILIZING, AND MULCHING SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
- TEMPORARY GRASS SEEDING SHALL BE PERFORMED ON ALL AREAS SCHEDULED, OR LIKELY, TO REMAIN INACTIVE FOR A PERIOD OF 15 DAYS OR MORE. TEMPORARY SEEDING SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL INCLUDE THE FOLLOWING SPECIES AND RATES:

SPECIES	RATE/ACRE	OPTIMUM PLANTING
WHEAT OR RYE	150#	9/15 TO 10/30
SPRING OATS	100#	3/1 TO 4/15
ANNUAL RYE GRASS	40#	3/1 TO 5/1, 8/1 TO 9/1

A FERTILIZER APPLICATION OF 400#/ACRE OF 12-12-12 ANALYSES MATERIAL SHALL ACCOMPANY THE SEEDING APPLICATION. MULCHING OF TEMPORARY SEEDING SHALL BE AS NEEDED.

- PERMANENT SEEDING SHALL BE AS SPECIFIED ON THE LANDSCAPE PLAN AND NOTES. PERMANENT SEEDING SHOULD BE APPLIED FROM MARCH 1ST THRU MAY 10TH OR FROM AUGUST 10TH THRU SEPTEMBER 30TH. ANY PERMANENT SEEDING BETWEEN JUNE 1ST AND AUGUST 10TH MUST BE IRRIGATED TO ALLOW FOR PROPER SEED GERMINATION.
- SEEDING SHALL BE DONE PROMPTLY AND PROGRESSIVELY AS WORK IS COMPLETED IN ORDER TO ALLOW FOR THE EARLIEST POSSIBLE ESTABLISHMENT OF STABILIZED GRASS. MULTIPLE MOBILIZATIONS FOR THE SEEDING OF SPECIFIC SECTIONS SHALL BE INCLUDED IN THE WORK.
- THE JOB WIDE SEQUENCE OF GENERAL WORK OPERATIONS RELATING TO EARTH DISTURBING ACTIVITIES SHALL BE SUCH AS TO PREVENT THE POTENTIAL FOR EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS, WHILE ALSO CONSIDERING MAINTENANCE OF TRAFFIC:
 - SITE CLEARING AND BUILDING DEMOLITION
 - TEMPORARY SEEDING AS NEEDED - INCIDENTAL APPLICATIONS THROUGHOUT CONSTRUCTION
 - UNDERGROUND CONSTRUCTION
 - ROUGH GRADING/FINE GRADING
 - BUILDING CONSTRUCTION
 - PAVEMENT CONSTRUCTION
 - COMPLETION OF PERMANENT SEEDING
 - MISCELLANEOUS CONSTRUCTION
 - FINAL CLEANUP

- TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AT THE TIME OF SITE CLEARING AS EARLY IN THE ABOVE SEQUENCE AS NEEDED, AND SHALL BE MAINTAINED THROUGHOUT THE SEQUENCE AS NEEDED. DURING THE COURSE OF WORK, CLEANUP SHALL BE DONE AS NEEDED AND AS DIRECTED TO AVOID EROSION AND SEDIMENTATION.
- THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN SHALL BE CONSIDERED A MINIMUM APPLICATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE AND MAINTAIN A CONCRETE WASHOUT AREA FOR THE DURATION OF CONCRETE POURING ACTIVITIES. THE CONTRACTOR SHALL REMOVE ALL DRIED CONCRETE FROM THE WASHOUT AREA BY THE END OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE RIP-RAP DAMS ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIT FROM THE SITE TO ELIMINATE SEDIMENT RUN-OFF.
- THE CONTRACTOR SHALL AVOID UNNECESSARILY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER ALONG THE PROJECT PERIMETER. THESE AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION AND SEDIMENTATION PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE WORK AND THE AFFILIATED AREA IS PERMANENTLY STABILIZED.
- REMOVAL OF TEMPORARY EROSION AND SEDIMENTATION PROTECTION IS REQUIRED FOR FINAL PROJECT ACCEPTANCE.

RIP RAP AT PIPE OUTLET

MATERIAL: HARD ANGULAR AND WEATHER RESISTANT, HAVING A SPECIFIC GRAVITY OF AT LEAST 2.5.

GRADATION: WELL GRADED STONE, 50% (BY WEIGHT LARGER THAN THE SPECIFIED D50, HOWEVER THE LARGEST PIECES SHOULD NOT EXCEED TWO TIMES THE SPECIFIED D50, AND NO MORE THAN 15% OF THE PIECE (BY WEIGHT) SHOULD BE LESS THAN 3 IN.

FILTER: US GEOTEXTILE FABRIC FOR STABILIZATION AND FILTRATION OR SAND/GRAVEL LAYER PLACED UNDER ALL PERMANENT RIPRAP INSTALLATIONS.

SLOPE: 2:1 OR FLATTER, UNLESS APPROVED IN THE EROSION AND SEDIMENT CONTROL PLAN.

SUBGRADE PREPARATION

- REMOVE BRUSH, TREES, STUMPS AND OTHER DEBRIS.
- EXCAVATE ONLY DEEP ENOUGH FOR BOTH FILTER AND RIPRAP. OVER-EXCAVATION INCREASES THE AMOUNT OF SOILS CONSIDERABLY.
- COMPACT ANY FILL MATERIAL TO THE DENSITY OF THE SURROUNDING UNDISTURBED SOIL.
- SMOOTH THE GRADED FOUNDATION.

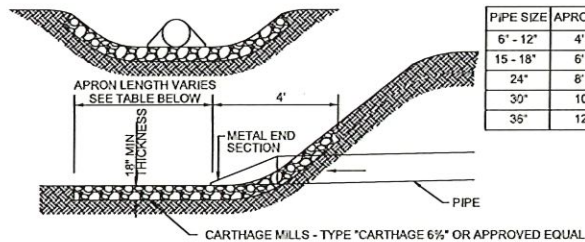
FILTER PLACEMENT

- IF USING GEOTEXTILE FABRIC, PLACE IT ON THE SMOOTHED FOUNDATION, OVERLAP THE EDGES AT LEAST 12 IN., AND SECURE WITH ANCHOR PINS SPACED EVERY 3FT ALONG THE OVERLAP.
- IF USING A SAND/GRAVEL FILTER, SPREAD THE WELL GRADED AGGREGATE IN A UNIFORM LAYER TO THE REQUIRED THICKNESS (6 IN. MIN.), IF TWO OR MORE LAYERS ARE SPECIFIED, PLACE THE LAYER OF SMALLER GRADATION FIRST AND AVOID MIXING THE LAYERS.

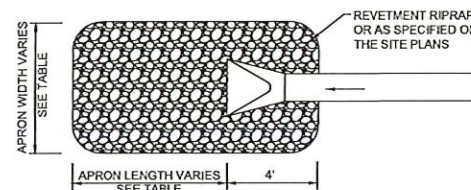
RIPRAP PLACEMENT

- IMMEDIATELY AFTER INSTALLING THE FILTER, ADD THE RIPRAP TO FULL THICKNESS IN ONE OPERATION. (DO NOT DUMP THROUGH CHUTES OR USE ANY METHOD THAT CAUSES SEGREGATION OF ROCK SIZES OR THAT WILL DISLODGE OR DAMAGE THE UNDERLYING FILTER MATERIAL.)
- IF FABRIC IS DAMAGED, REMOVE THE RIPRAP AND REPAIR BY ADDING ANOTHER LAYER OF FABRIC, OVERLAPPING THE DAMAGED AREA BY 12 IN.
- PLACE SMALLER ROCK IN VOIDS TO FORM A DENSE, UNIFORM, WELL-GRADED MASS. (SELECTIVE LOADING AT THE QUARRY AND SOME HAND PLACEMENT MAY BE NEEDED TO ENSURE AN EVEN DISTRIBUTION OF ROCK MATERIAL.)
- BLEND THE ROCK SURFACE SMOOTHLY WITH THE SURROUNDING AREA TO ELIMINATE PROTRUSIONS OR OVER-FALLS.

MAINTENANCE
1. INSPECT PERIODICALLY FOR DISPLACED ROCK MATERIAL, SLUMPING, AND EROSION AT EDGES, ESPECIALLY DOWN-STREAM OR DOWN-SLOPE.



PIPE SIZE	APRON WIDTH	APRON LENGTH
6" - 12"	4' MIN	10' MIN
15" - 18"	6' MIN	15' MIN
24"	8' MIN	20' MIN
30"	10' MIN	28' MIN
36"	12' MIN	32' MIN



STORM SEWER OUTLET PROTECTION (3) C502

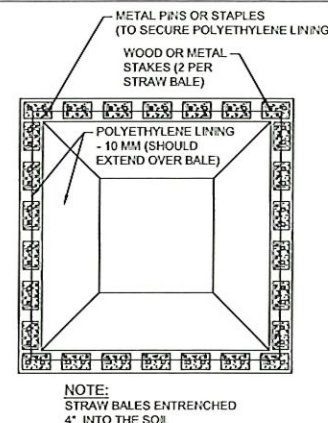
NORTH AMERICAN GREEN
EROSION CONTROL PRODUCTS
Guaranteed SOLUTIONS
14648 HIGHWAY 41 NORTH
EVANSVILLE, IN 47725
800-772-2049
www.nogreen.com

- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12' OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

EROSION CONTROL BLANKET DETAIL (7) C502

- NOTE:**
- CONCRETE WASHOUT LOCATION TO BE DETERMINED BY CONTRACTOR. CONTRACTOR TO SELECT EITHER AN ABOVE OR BELOW GRADE SYSTEM AS DETAILED OR A PREFABRICATED WASHOUT SYSTEM/CONTAINER. ALL OTHER METHODS SHALL BE APPROVED BY THE SOIL AND WATER CONSERVATION DISTRICT PRIOR TO USE.
 - ABOVE AND BELOW GRADE SYSTEMS SHALL BE A MINIMUM OF 10 FEET X 10 FEET AND INCLUDE A MINIMUM OF 12" OF FREE BOARD IS REQUIRED FOR BELOW GRADE AND 4" MINIMUM FOR ABOVE GRADE SYSTEMS TO ENSURE THE AREA WILL NOT OVERFLOW DURING A RAINFALL EVENT.
 - SYSTEM SHALL BE SIZED TO CONTAIN ALL LIQUID AND WASTE THAT IS EXPECTED TO BE GENERATED BETWEEN CLEANOUT PERIODS.
 - CONTRACTOR SHALL INSTALL THE SELECTED SYSTEM IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



CONCRETE WASHOUT ABOVE GRADE SYSTEM (5) C502

COIR LOG/SILT WORM

MATERIAL: SILT-WORM OR APPROVED EQUAL

INSTALLATION

- INSTALL SILT WORM AROUND PERIMETER OF AREA TO BE DISTURBED
- OVERLAP CONTIGUOUS SECTIONS OF SILT WORM 1 FT. MINIMUM.

PERIMETER CONTROL:

PLACE SILT WORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6". SITE PREPARATION IS MINIMAL, AND THERE IS NO STAKING OR TRENCHING REQUIREMENT FOR GRADES UNDER 12%. ARRANGE THE SILT WORM PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW.

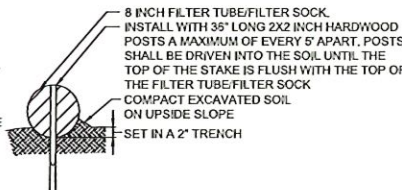
SLOPE INTERRUPTION:

PLACE SILT WORM PERPENDICULAR TO SHEET FLOW AND CURL ENDS UP TOWARD THE TOP OF THE SLOPE. STAKE THE SILT WORM EVERY 6" AND OVERLAP THE ENDS BETWEEN 1 TO 2 FEET. PLACE A LINE OF DEFENSE AT THE TOP OF THE SLOPE, AND ANOTHER WITHIN 10' FROM THE TOE OF THE SLOPE.

DITCH CHECK:

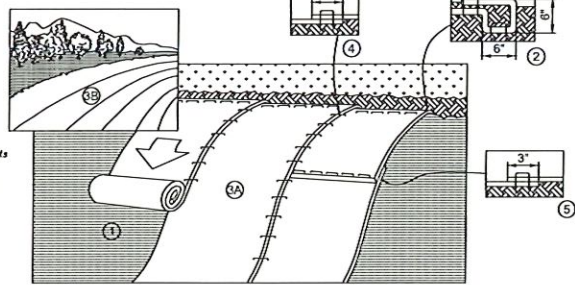
SILT WORM SHOULD BE INSTALLED WITH A SLIGHT ENTRENCHMENT, AND STAKED EVERY 4' IN THE DITCH CHECK APPLICATION.

- NOTES:**
- ADJACENT ROLLS SHALL BE OVERLAPPED, NOT ABUTTED.
 - INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

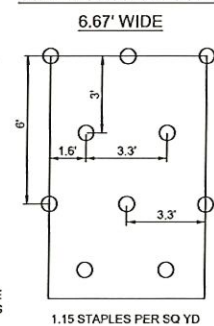


COIR LOG/SILT WORM (6) C502

SLOPE INSTALLATION

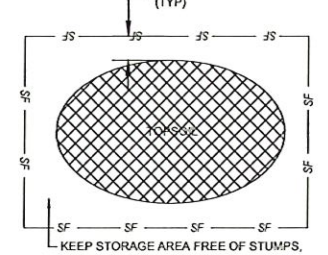


STAPLE PATTERN GUIDE

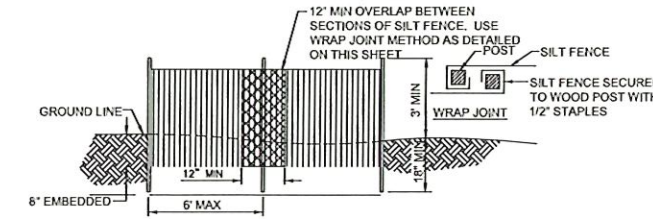


1.15 STAPLES PER SQ YD

- NOTES:**
- TOPSOIL STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR.
 - STOCKPILE SHALL BE SIZED TO CONTAIN ALL TOPSOIL THAT IS EXPECTED TO BE USED FOR SITE GRADING PURPOSES.
 - CONTRACTOR SHALL INSTALL SILT FENCE SURROUNDING THE STOCKPILE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

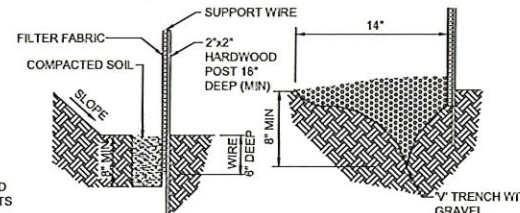


TOPSOIL STOCKPILE (1) C502

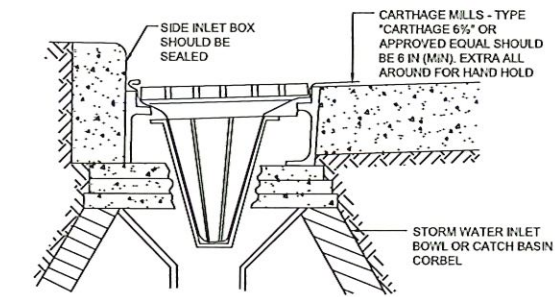


NOTE:
SILT FENCE SHALL BE INSTALLED ON AN AS NEEDED BASIS TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. IT IS NOT INTENDED TO BE NEEDED IN ALL AREAS HOWEVER IF DURING CONSTRUCTION SILT FENCE IS REQUIRED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

SILT FENCE - PERIMETER PROTECTION (2) C502



CURB INLET PROTECTION (3) C502



TEMPORARY GRAVEL ACCESS PAD (4) C502

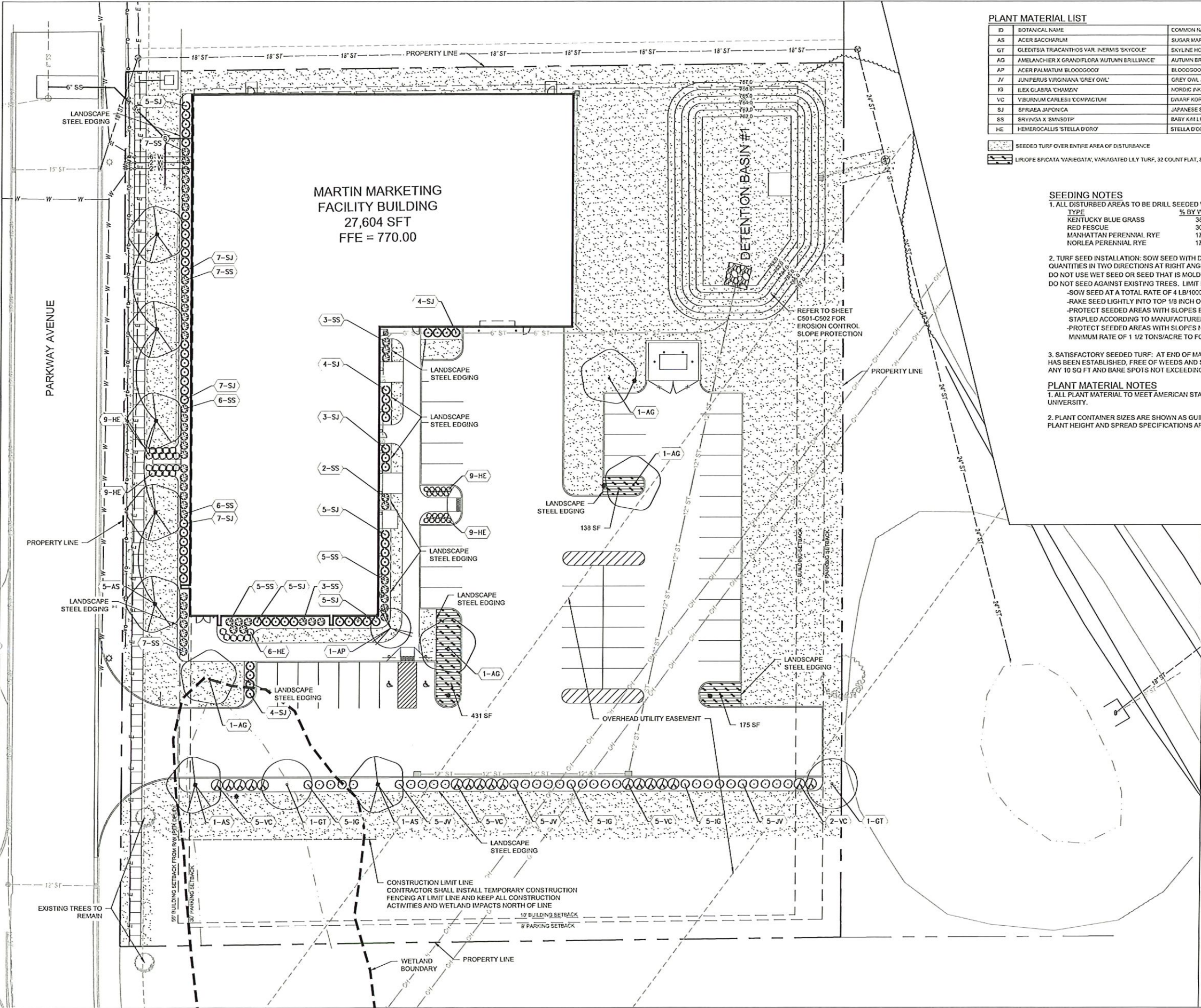
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DRAWN BY: JTB	REVIEWED BY: CE
DATE: 09/20/2024	
JOB NUMBER: 2024-0044	
HORIZ. SCALE: AS SHOWN	
VERTICAL SCALE: NONE	
C502	

MARTIN MARKETING FACILITY
DJ CONSTRUCTION
3414 ELKHART ROAD
GOSHEN, INDIANA

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ID	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	QTY	ROOT
AS	ACER SACCHARUM	SUGAR MAPLE	2 1/2" MIN	80HTx42W	7	B & B
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2 1/2" MIN	50HTx42W	2	B & B
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICE BERRY	2" CAL	25HTx20W	4	B & B
AP	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	2" CAL	20HTx15W	1	B & B
JV	JUNIFERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" SPDR	3HTx5W	15	3 GAL
K3	ILEX GLABRA 'CHAMZIN'	NORDEK HOLLERBERRY	24" SPDR	4HTx4W	17	3 GAL
VC	YBURNUM CARLESII 'COMPACTUM'	DWARF KOREAN SPICE YBURNUM	24" SPDR	3HTx4W	15	3 GAL
SJ	SFRRAEA JAPONICA	JAPANESE SP REA	24" SPDR	3HTx4W	56	3 GAL
SS	SRVINGA X 'SMNSOTI'	BABY KIM LLAC	24" SPDR	3HTx4W	51	3 GAL
HE	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#1 CONT.	2HTx2W	42	1 GAL

- SEEDED TURF OVER ENTIRE AREA OF DISTURBANCE
- LIRIOPE SPICATA 'VAREGATA', VARI-GATED LILY TURF, 32 COUNT FLAT, SPACED 12" O.C.

SEEDING NOTES

1. ALL DISTURBED AREAS TO BE DRILL SEED WITH THE FOLLOWING GRASS SEED MIXTURE:

TYPE	% BY WEIGHT	% BY PURITY	% BY GERMINATION
KENTUCKY BLUE GRASS	36	98	80
RED FESCUE	30	98	85
MANHATTAN PERENNIAL RYE	17	98	90
NORLEA PERENNIAL RYE	17	98	90

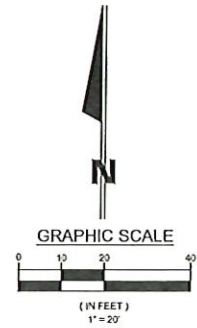
2. TURF SEED INSTALLATION: SOW SEED WITH DRILL SEEDING MACHINE. EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
 DO NOT USE WET SEED OR SEED THAT IS MOLDY OR OTHERWISE DAMAGED.
 DO NOT SEED AGAINST EXISTING TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SAUCER.
 -SOW SEED AT A TOTAL RATE OF 4 LB/1000 SQ FT.
 -RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL. ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
 -PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:3 WITH EROSION-CONTROL BLANKETS INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 -PROTECT SEEDED AREAS WITH SLOPES NOT EXCEEDING 1:3 BY HYDROMULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 1 1/2 TONS/ACRE TO FORM A CONTINUOUS BLANKET OVER SEEDED AREAS.

3. SATISFACTORY SEEDED TURF: AT END OF MAINTENANCE PERIOD (90 DAYS), A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ FT AND BARE SPOTS NOT EXCEEDING 3 INCHES BY 3 INCHES (3" X 3").

PLANT MATERIAL NOTES

1. ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK, 2014 EDITION, HORTIS THIRD 1076 CORNELL UNIVERSITY.

2. PLANT CONTAINER SIZES ARE SHOWN AS GUIDELINES ONLY (MINIMUM HEIGHT AND SPREAD REQUIREMENTS RULE). PLANT HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUMS, ON CENTER (O.C.) SPECIFICATIONS ARE MAXIMUMS.



DESIGNED BY: JTB	REVIEWED BY: AC
DRAWN BY: JTB	REVIEWED BY: CE
DATE: 08/20/2024	
JOB NUMBER: 2024-0044	
HORIZ. SCALE: 1" = 20'	
VERTICAL SCALE: NONE	
C601	

MARTIN MARKETING FACILITY	GOSHEN, INDIANA
DJ CONSTRUCTION	
SITE LANDSCAPE PLAN	

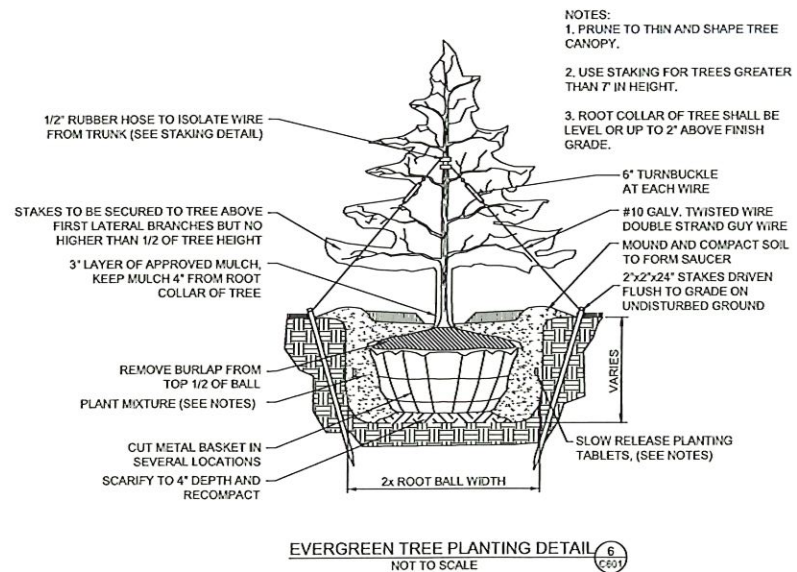
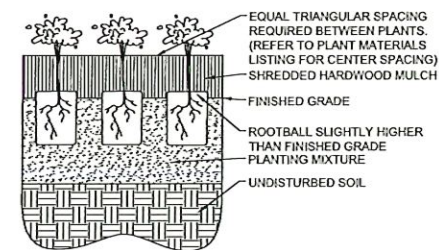
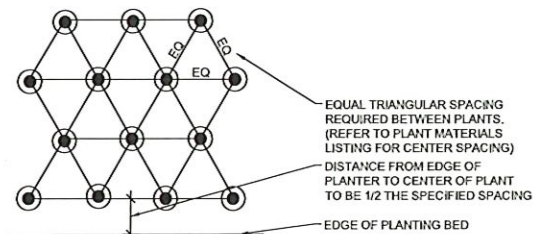
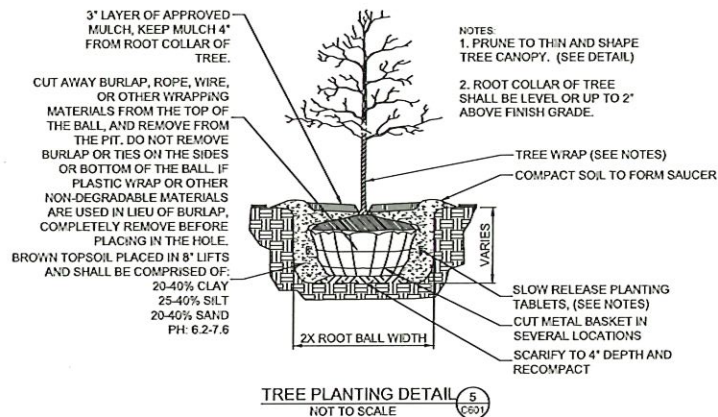
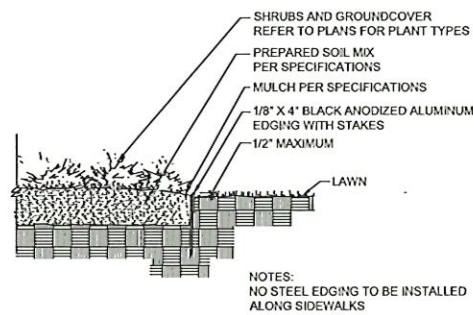
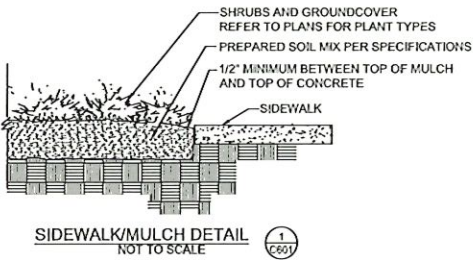
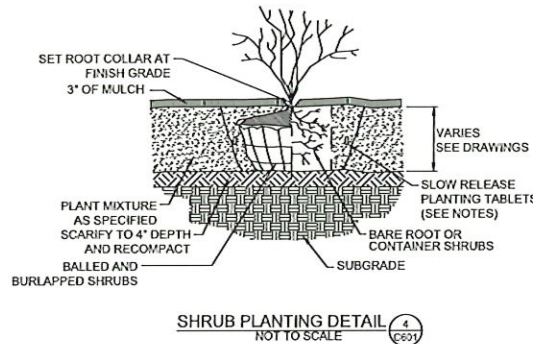
3414 ELKHART ROAD

JONES PETRIE RAFINSKI

For Wyo., IN
 South Bend, IN
 P: 574.232.4388
 P: 260.422.2522

PRELIMINARY FOR REVIEW PURPOSE ONLY

- NOTES:
- DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
 - THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
 - REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS, REMOVE POTS AND SPLIT BALLS AS SPECIFIED.



GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION OF ALL PRIVATE AND PUBLIC UTILITY LINES WHICH AFFECT THIS SITE. CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
- CONTRACTOR SHALL REVIEW PLANTING SPECIFICATIONS AND PLANTING DETAILS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH CONDITIONS UNDER WHICH WORK SHALL BE IMPLEMENTED PRIOR TO BIDDING.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING WORK.
- PLANTING BEDS SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PONDING OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURE OR TO STREET. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE. IRRIGATION SYSTEM SHALL BE DESIGNED TO ELIMINATE OVERSPRAY ONTO BUILDINGS, STRUCTURES AND MONUMENT SIGNS.
- CONTRACT OFFICER SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL.
- CONTRACTOR SHALL IMMEDIATELY, UPON THE AWARD OF THE CONTRACT, LOCATE, ORDER AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER FOR OBSERVATION AT THE FOLLOWING TIMES:
 - TREE LOCATIONS - PRIOR TO PLANTING
 - PLANT APPROVAL AND SPOTTING - PRIOR TO PLANTING
 - PRE-MAINTENANCE APPROVAL
 - POST-MAINTENANCE / FINAL APPROVAL
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS MADE NECESSARY THROUGH THE ACTIONS/NEGLIGENCE OF THEIR CREW.
- SHRUB AND GROUND COVER MASS QUANTITIES ARE SHOWN ON PLANS. UNDERPLANT ALL TREES WITH THE ADJACENT SHRUB AND/OR GROUND COVER AS INDICATED BY THE PLANS. PLANTS SHALL BE INSTALLED WITH TRIANGULAR SPACING. PLANT GROUND COVERS TO WITHIN 36\"/>

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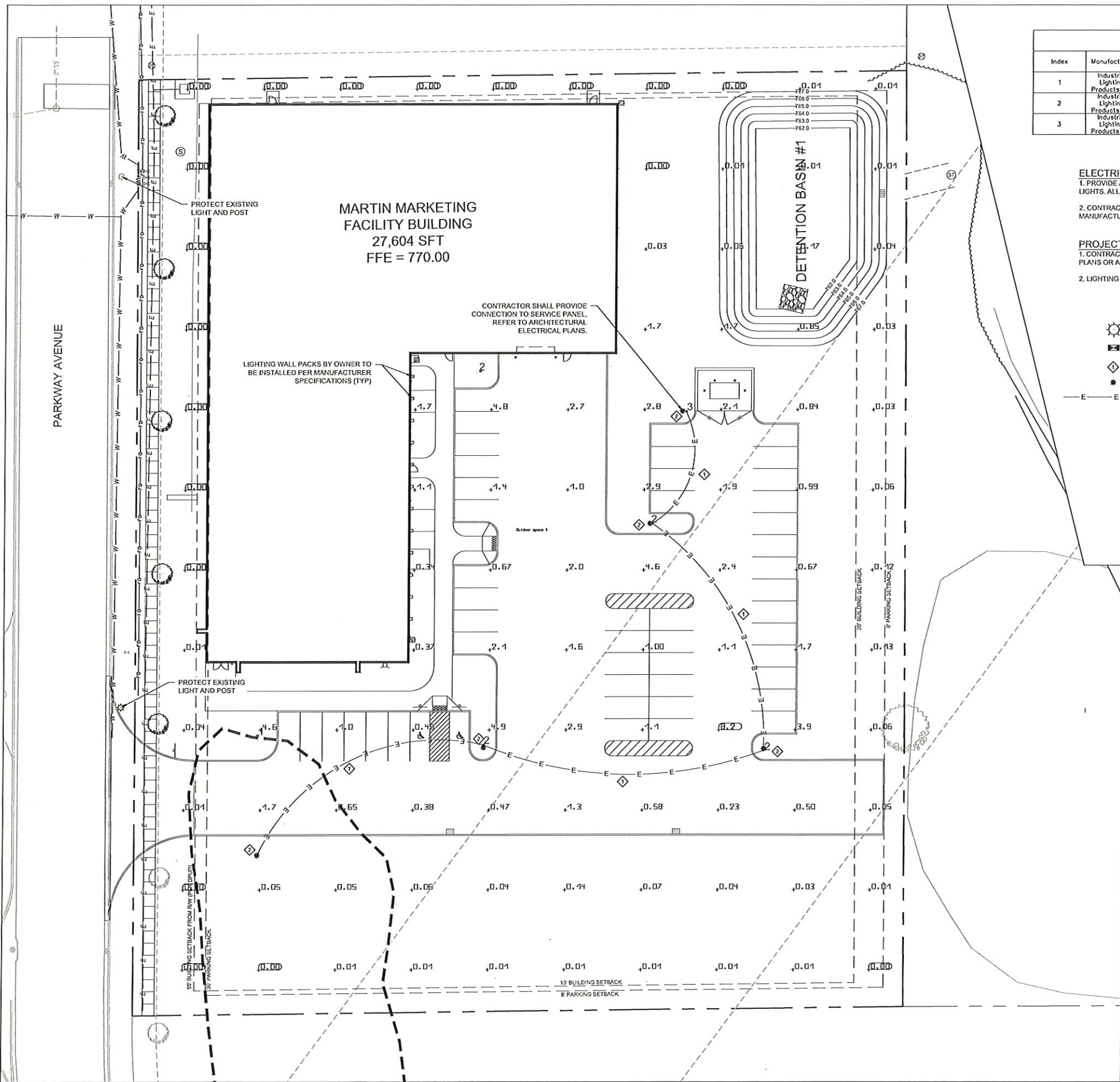
**JONES
PETRIE
RAFINSKI**
 Fort Wayne, IN
 P: 260.422.2522
 South Bend, IN
 P: 574.232.4388

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FOR REVIEW
PURPOSE
ONLY**


MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN, INDIANA
 DJ CONSTRUCTION
 LANDSCAPE NOTES & DETAILS

DESIGNED BY: JH
REVIEWED BY: AC
DRAWN BY: JH
REVIEWED BY: AC
DATE: 08/20/2024
JOB NUMBER: 2024-0044
HORIZ. SCALE: NONE
VERTICAL SCALE: NONE
C602

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Luminaire list (Outdoor space 1)									
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Maintenance factor	Connected load	Quantity	
1	Industrial Lighting Products Inc	Skyline Small, 18,000 Lumens, 4000K, Type 4 Optic, House Side Shield	SAS-18L-U-40-14-HSS	1x N/A	12664 lm	0.80	137 W	1	
2	Industrial Lighting Products Inc	Skyline Small, 18,000 Lumens, 4000K, Type 4 Optic	SAS-18L-U-40-14	1x N/A	19422 lm	0.80	132.6 W	4	
3	Industrial Lighting Products Inc	Skyline Small, 18,000 Lumens, 4000K, Type 5 Square Optic	SAS-18L-U-40-15S	1x N/A	20236 lm	0.80	132.6 W	1	

ELECTRICAL KEYED NOTES DENOTED BY : 






1. PROVIDE A COMPLETE WORKING SYSTEM. CONDUCTORS (4) # 4, (1) # 4 GND, (4 COLOR) FOR THE LIGHTS. ALL CONDUIT SHALL BE PVC SCHEDULE 80.

2. CONTRACTOR SHALL INSTALL NEW POLE AND FIXTURE TO BE SET ON TOP OF NEW FOUNDATION PER MANUFACTURER'S SPECIFICATIONS.

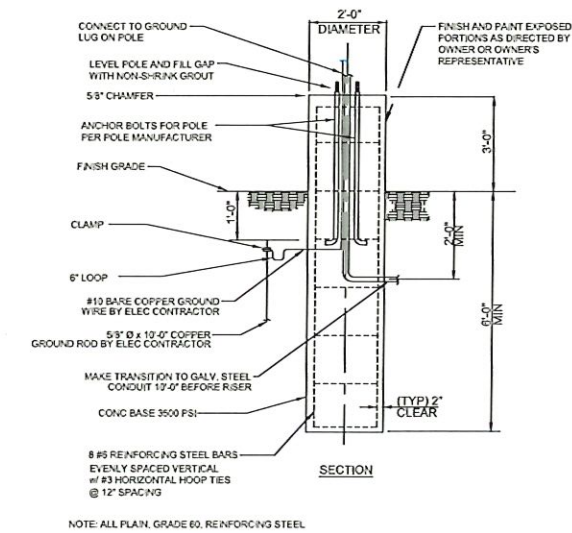
PROJECT COORDINATION NOTES:

1. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING UTILITY POLES AND LIGHTS PER PLANS OR AS DIRECTED BY OWNER.

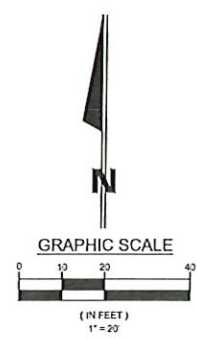
2. LIGHTING MANUFACTURER SHALL BE PER PLANS, OR APPROVED EQUAL.


- LEGEND**
-  EXISTING LIGHT FIXTURE, TO BE REMOVED WHEN NOTED
 -  EXIST IN GROUND VALVES TO REMAIN U.O.N.
 -  REFER TO KEYED NOTES
 -  PROPOSED LIGHT LOCATION WITH POLE
 -  ELECTRIC CONDUIT

LIGHTING PLAN PREPARED BY:
 ESL SPECTRUM
 115 S MAIN ST #204
 MISHAWAKA, IN 46544
 CONTACT: STEVE CLEARWATER
 PH: (574) 255-2151

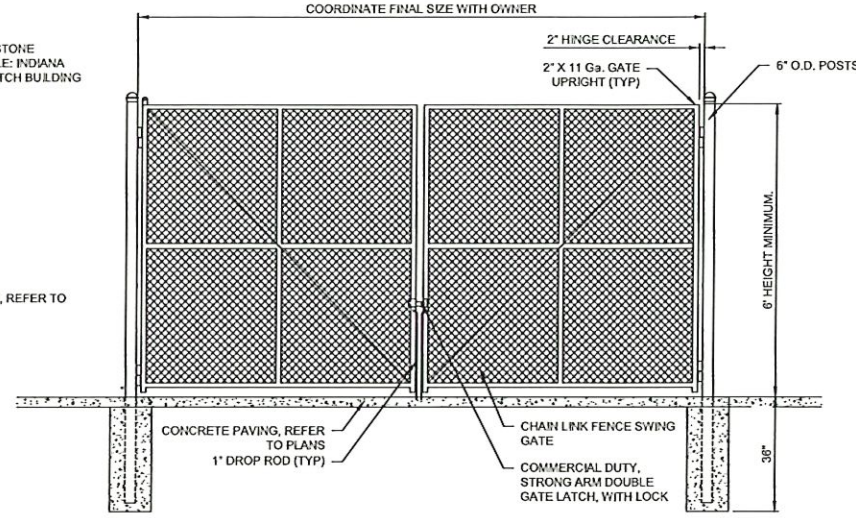
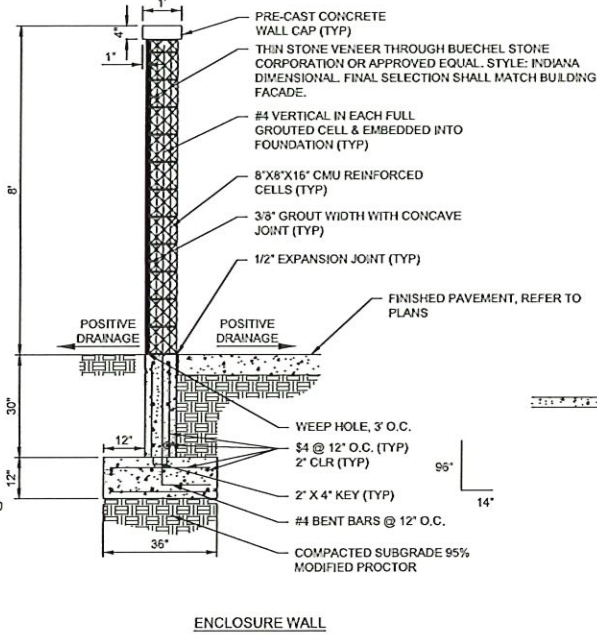
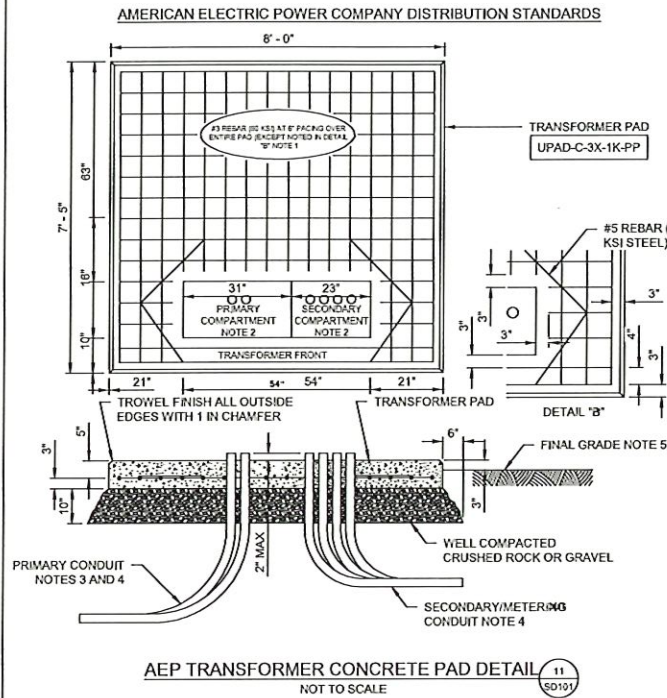


LIGHT POLE FOUNDATION
 NOT TO SCALE

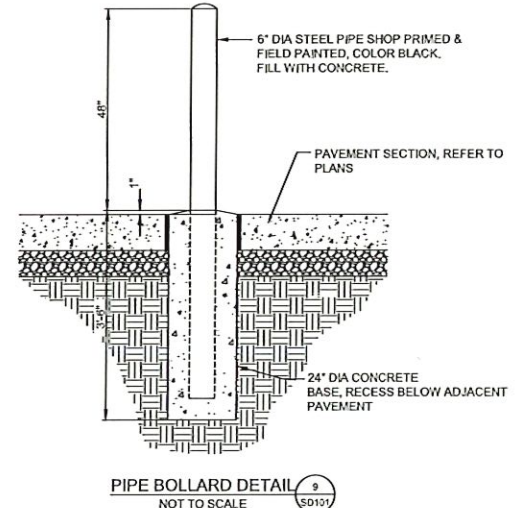
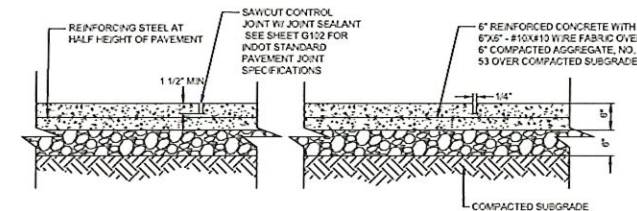
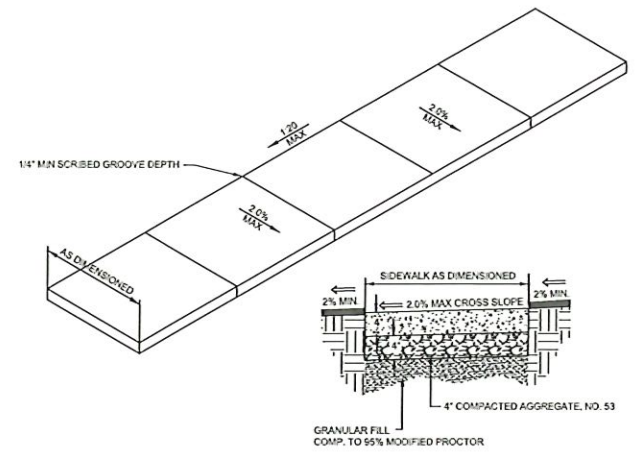


		JONES PETRIE RAFINSKI Fort Wayne, IN P: 760.422.2522
SOUTH BEND, IN P: 574.232.4388		PRELIMINARY FOR REVIEW PURPOSE ONLY
MARTIN MARKETING FACILITY	GOSHEN, INDIANA	
3414 ELKHART ROAD	DJ CONSTRUCTION	SITE LIGHTING PLAN
DESIGNED BY: JTB REVIEWED BY: AC DRAWN BY: JTB REVIEWED BY: CE		
DATE: 09/20/2024		
JOB NUMBER: 2024-0044		
HORIZ. SCALE: 1" = 20' VERTICAL SCALE: NONE		
C701		

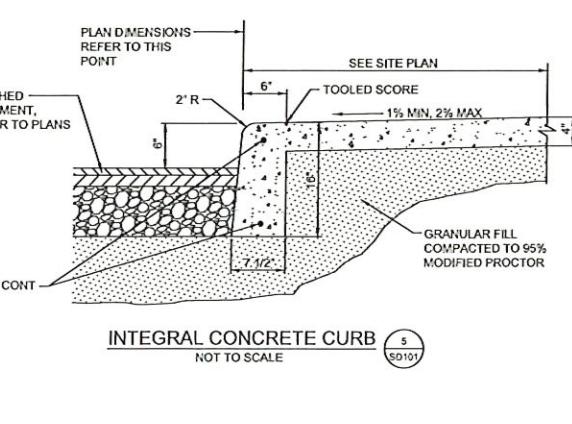
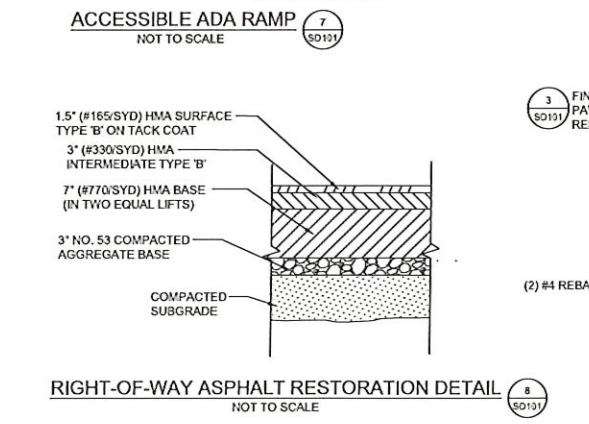
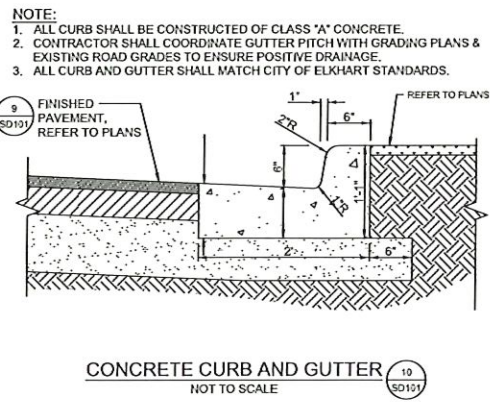
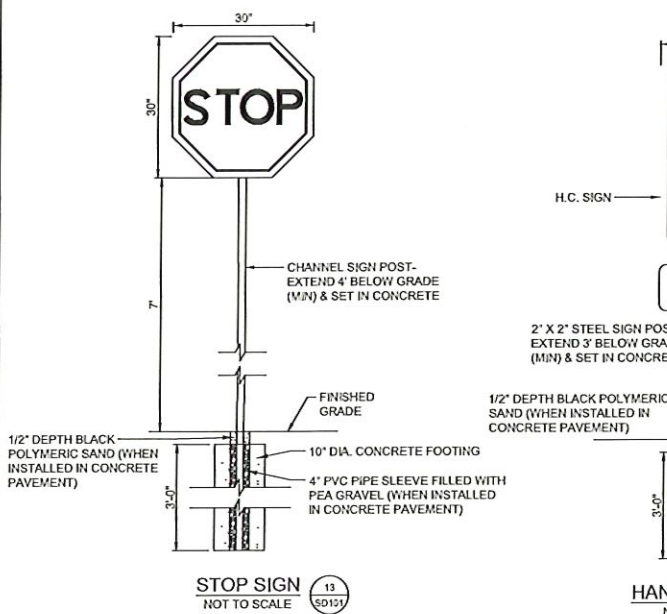
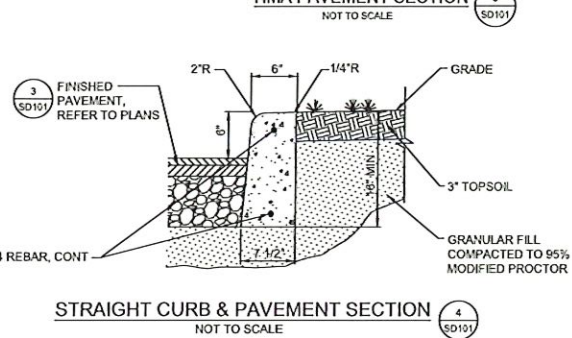
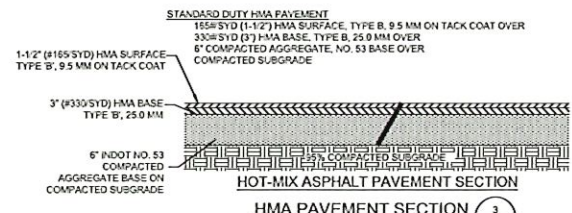
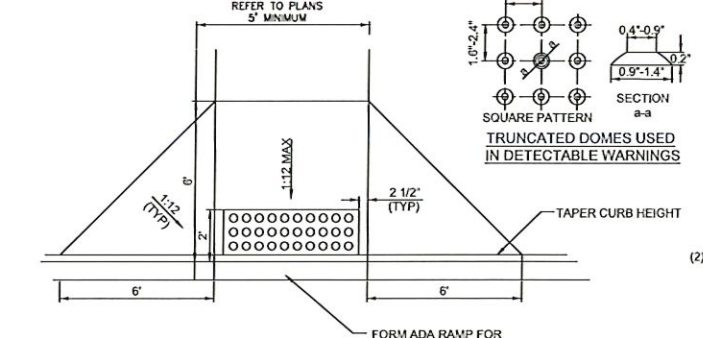
1. PROVIDE 3,500 PSI CONCRETE WITH A MINIMUM 3 INCH COVER OVER ALL REBAR. WIRE MESH WITH A MINIMUM CROSS SECTIONAL AREA OF 0.176 SQUARE INCHES PER FOOT OF PAD WIDTH MAY BE USED IN PLACE OF REBAR.
2. THE NUMBER AND PLACEMENT OF CONDUITS TO BE DETERMINED BY ENGINEERING. SECONDARY CONDUIT MAY EXTEND IN ANY DIRECTION AS REQUIRED BY THE CUSTOMER.
3. PRIMARY CONDUIT NUMBER, SIZE, LOCATION AND DIRECTION TO BE SPECIFIED BY ENGINEERING. CONDUIT CAN BE FLEXIBLE, TYPE EB OR DB PVC CONDUIT WITH 90°, 36 INCH RADIUS BENDS TO AVOID DISTURBING THE GROUND UNDER THE REAR OF THE PAD AND TO MINIMIZE SETTLING. BRING CONDUITS TO THE FRONT OR SIDES WHENEVER POSSIBLE AND MARK THE CONDUIT END LOCATIONS.
4. BURIAL DEPTH IS DEFINED AS THE DISTANCE BETWEEN FINAL GRADE AND THE TOP OF THE BURIED CABLE OR CONDUIT. PRIMARY CABLES SHALL BE INSTALLED AT A BURIAL DEPTH OF NOT LESS THAN 3'-0" AND SECONDARY CABLES SHALL BE INSTALLED AT A BURIAL DEPTH OF NOT LESS THAN 2'-6". IT IS RECOMMENDED THAT PRIMARY CABLES AND SECONDARY CABLES MAINTAIN BURIAL DEPTHS OF 2'-6" AND 2'-0" RESPECTIVELY; THE INITIAL 3'-0" AND 2'-6" BURIAL DEPTHS ARE TO ALLOW FOR CHANGES IN SURFACE CONDITIONS.
5. FINAL GRADE SHALL BE ESTABLISHED BEFORE INSTALLATION OF PAD.



- NOTE:**
1. ALL STEEL POSTS, FABRIC, & HARDWARE TO BE GALVANIZED WITH PVC VINYL COATING COLOR: BLACK
 2. PRIVACY SLATS TO BE INSTALLED AS PART OF GATE. COLOR: BLACK.
 3. ENCLOSURE DIMENSIONS ARE APPROXIMATE. FINAL DIMENSIONS SHALL BE COORDINATED WITH OWNER & GARBAGE SERVICE PROVIDER TO ENSURE CONTAINERS FIT.



1. BOTTOM EDGE OF THE CURB RAMP SHALL BE FLUSH WITH EDGE OF ADJACENT PAVEMENT AND GUTTER LINE.
2. LANDING AREAS AT THE TOP OF CURB RAMPS HAVE MAXIMUM CROSS-SLOPE OF 50:1 IN ANY DIRECTION. WHEN SITE INFEASIBILITY PRECLUDES A LANDING SLOPE OF 50:1 IN ANY DIRECTION, THE SLOPE PERPENDICULAR TO THE CURB FACE SHALL NOT EXCEED 50:1.
4. ALGEBRAIC DIFFERENCE IN GRADE BETWEEN THE BASE OF CURB RAMP AND THE GUTTER SHALL BE LIMITED TO LESS THAN 11%. IF IT IS NOT PRACTICAL, A 2'-0" WIDE LEVEL STRIP SHALL BE PROVIDED.
5. REFER TO PLANS FOR WIDTH, MINIMUM WIDTH OF CURB RAMP IS 4'-0".
6. DETECTABLE WARNING PANELS SHALL BE UNFINISHED CAST IRON DETECTABLE WARNING FIELDS AS MANUFACTURED BY NEENAH FOUNDRIES, TUFTLE CORPORATION, OR PIONEER DETECTABLE LLC AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS



REV	DESCRIPTION	BY	DATE

JONES PETRIE RAFINSKI

South Bend, IN P: 574.232.4388
 Elkhart, IN P: 260.222.2522

PRELIMINARY FOR REVIEW PURPOSE ONLY

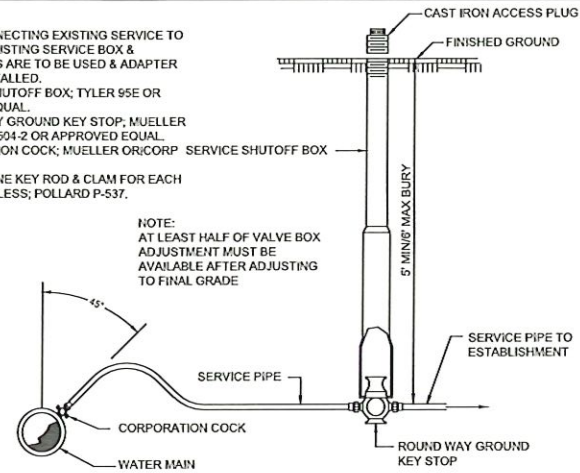
MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

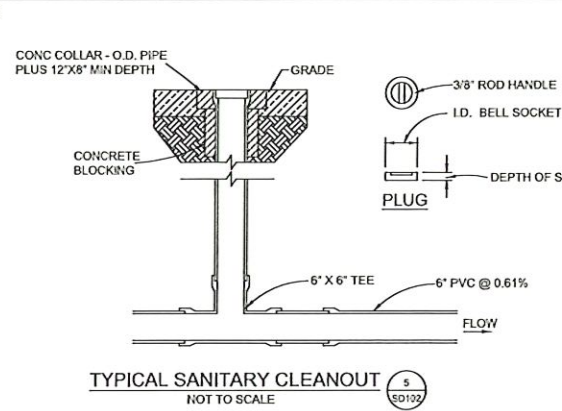
DATE: 08/20/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

SD101

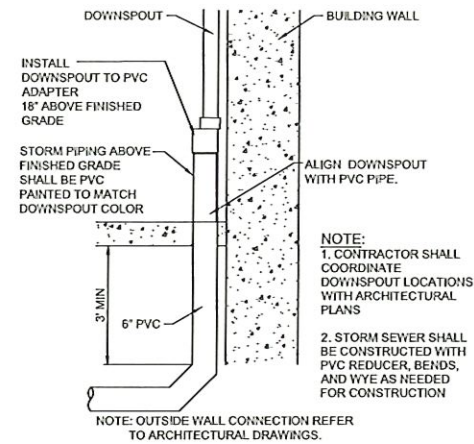
- NOTES:
 1. WHEN CONNECTING EXISTING SERVICE TO NEW MAIN, EXISTING SERVICE BOX & ACCESSORIES ARE TO BE USED & ADAPTER FITTINGS INSTALLED.
 2. SERVICE SHUTOFF BOX; TYLER 95E OR APPROVED EQUAL.
 3. ROUND WAY GROUND KEY STOP; MUELLER ORISEAL 3H-1504-2 OR APPROVED EQUAL.
 4. CORPORATION COCK; MUELLER ORICORP SERVICE SHUTOFF BOX H-15003.
 5. PROVIDE ONE KEY ROD & CLAM FOR EACH 10 BOXES OR LESS; POLLARD P-537.



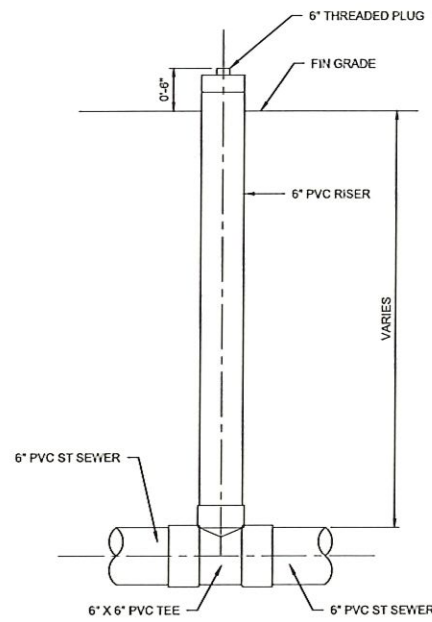
8 WATER SERVICE CONNECTION
NOT TO SCALE



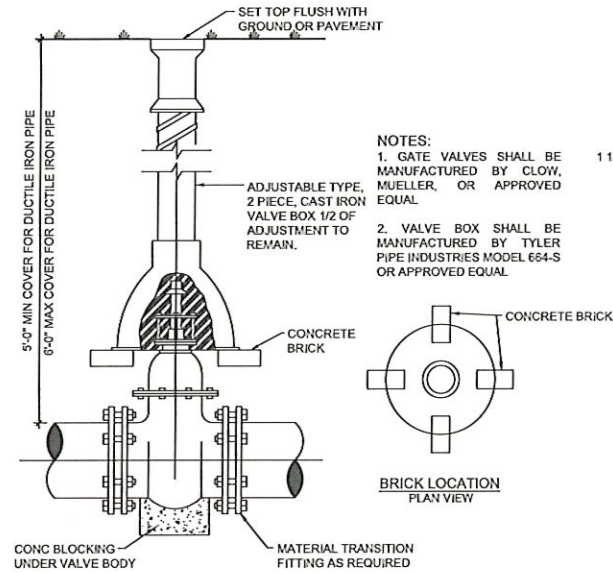
5 TYPICAL SANITARY CLEANOUT
NOT TO SCALE



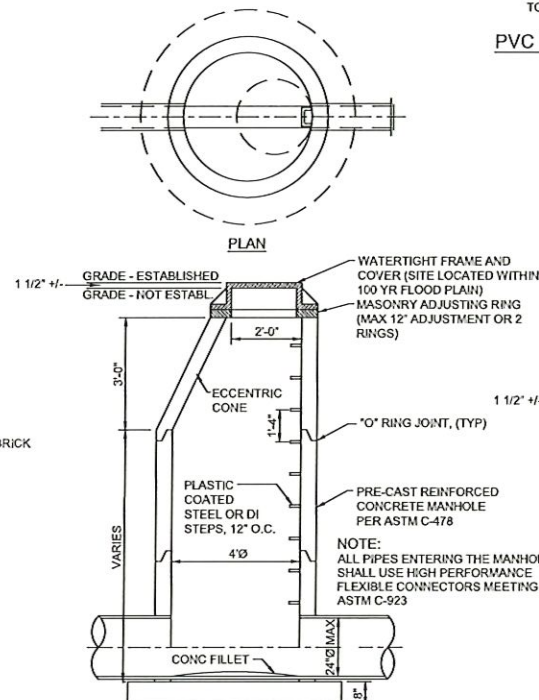
3 PVC DOWNSPOUT DRAIN PIPE
NOT TO SCALE



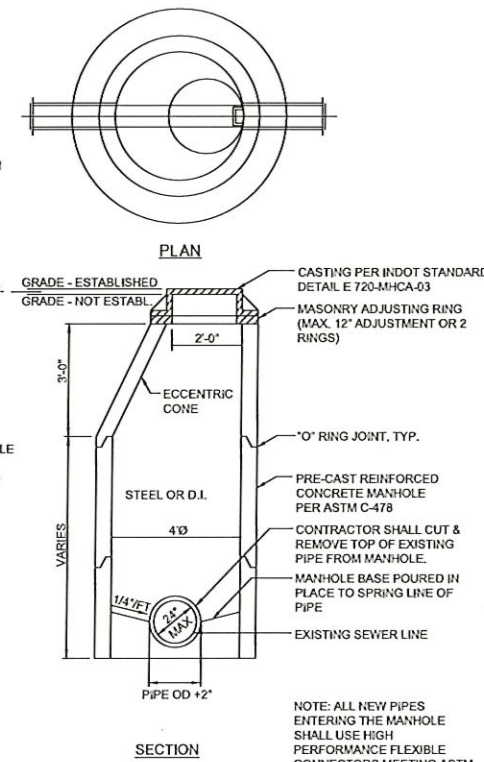
10 IN-LINE STORM CLEANOUT
NOT TO SCALE



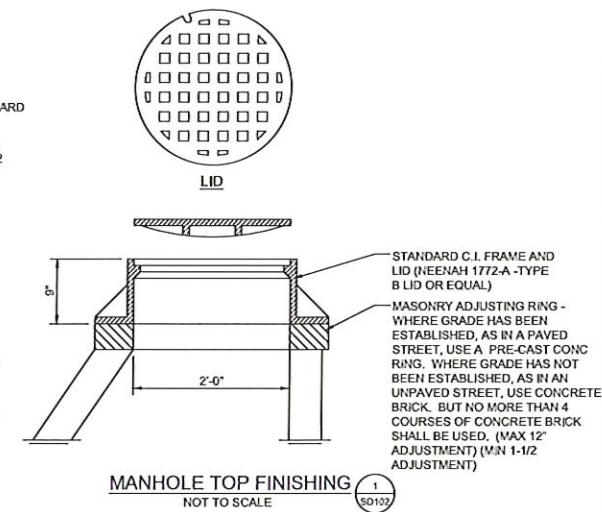
9 TYPICAL GATE VALVE & VALVE BOX
NOT TO SCALE



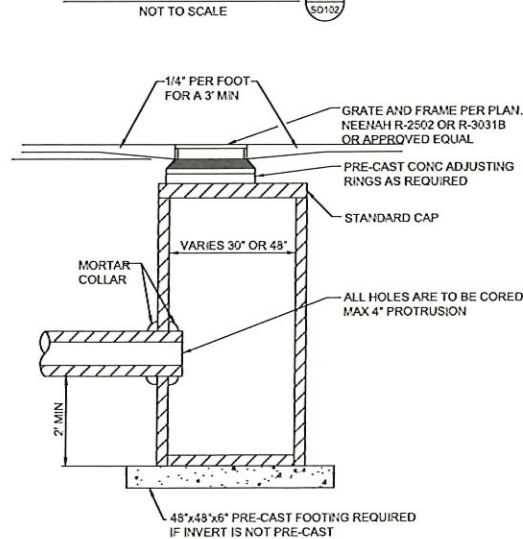
6 STANDARD PRE-CAST MANHOLE
NOT TO SCALE



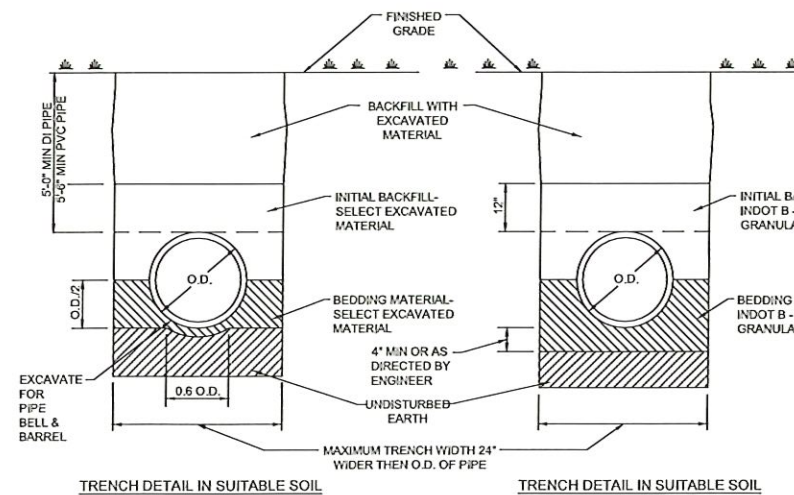
4 PRE-CAST DOG HOUSE MANHOLE
NOT TO SCALE



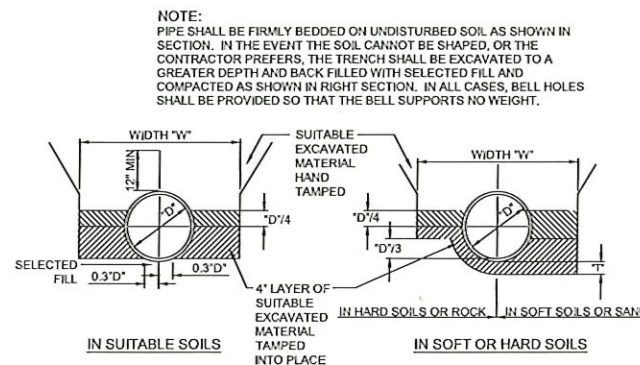
1 MANHOLE TOP FINISHING
NOT TO SCALE



11 STANDARD CATCH BASIN
NOT TO SCALE



7 WATER MAIN BEDDING DETAIL
NOT TO SCALE

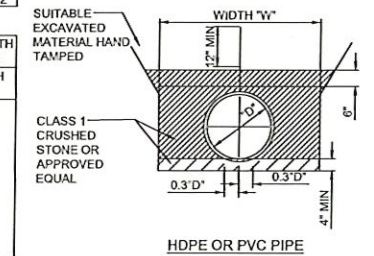


2 TYPICAL TRENCH, STORM & SANITARY PIPE LAYING AND BEDDING
NOT TO SCALE

MIN THICKNESS \"T\"	
TO 15'	6"
18' TO 36'	9"
OVER 36'	12"

MAX TRENCH WIDTH AT TOP OF PIPE	
5'	18"
8'	24"
10'	24"
12'	30"
15'	36"
18'	39"
21'	42"
24'	45"
27'	48"
30'	53"
35'	66"
42'	75"
45'	82"

NOTE: ALL PVC PIPE SHALL BE INSTALLED FOLLOWING THE ASTM STANDARD PRACTICE D 2321-89.



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REV	DESCRIPTION	BY	DATE

JONES
 PETRIE
 RAFINSKI
 South Bend, IN
 P: 574.232.4388
 East Wayne, IN
 P: 260.922.2522

PRELIMINARY
 FOR REVIEW
 PURPOSE
 ONLY

MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA
 SITE DETAILS II

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 08/20/2024

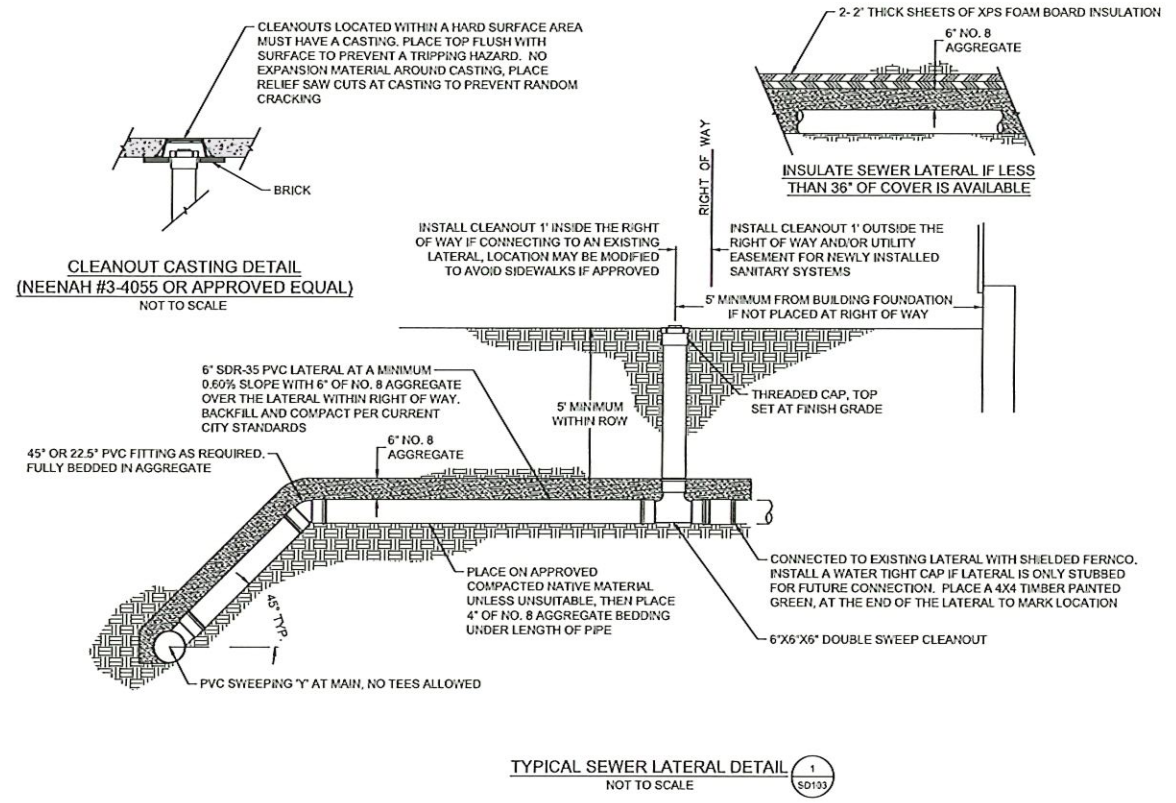
JOB NUMBER: 2024-0044

HORIZ. SCALE: AS SHOWN

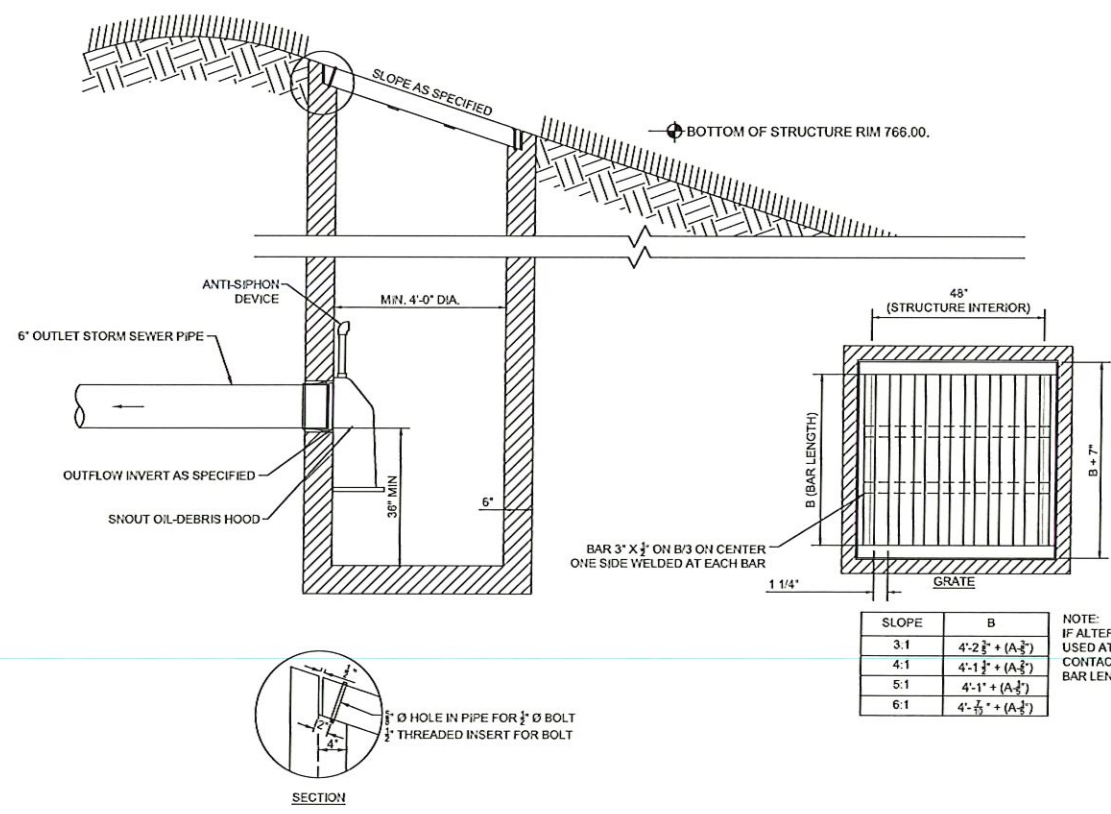
VERTICAL SCALE: NONE

SD102

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TYPICAL SEWER LATERAL DETAIL 1
 NOT TO SCALE SD103



DETENTION BASIN OUTFALL STRUCTURE DETAIL 2
 NOT TO SCALE SD103

REV	DESCRIPTION	BY	DATE

JONES PETRIE RAFINSKI
 Fort Wayne, IN
 p: 260.422.2522

JPR
 South Bend, IN
 p: 574.232.4388

PRELIMINARY FOR REVIEW PURPOSE ONLY

MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN, INDIANA

SITE DETAILS III

DESIGNED BY: JTB	REVIEWED BY: AC
DRAWN BY: JTB	REVIEWED BY: CE
DATE: 09/20/2024	
JOB NUMBER: 2024-0044	
HORIZ. SCALE: AS SHOWN	
VERTICAL SCALE: NONE	
SD103	



Staff Report

Planning & Zoning

Petition: 24-SI-07

Petition Type: Staff Item - Addressing

Date: October 7, 2024

Petitioner: City of Elkhart Planning & Zoning Department

Site Location: City of Elkhart

Plan Commission Action: Approval of proposed addresses for the City of Elkhart.

Staff Analysis

The Planning and Zoning Department is requesting approval of the addresses that have been reserved for structures in the City of Elkhart.

Residential

1900 W. Franklin Street – Apt 1, 2, 3, 4

Commercial

2604 Jeanwood Drive -

Residential Subdivision

Recommendation

Staff recommends that the Plan Commission assign the proposed addresses based on staff recommendation.