

**AGENDA
ELKHART CITY PLAN COMMISSION
MONDAY, MARCH 3, 2025 AT 1:45 P.M.
COUNCIL CHAMBERS – MUNICIPAL BUILDING**

THIS MEETING WILL BE HELD ELECTRONICALLY VIA WEBEX.

This meeting can also be accessed via WebEx. To join, go to <https://signin.webex.com/join>, enter **2316 616 9066** as the meeting number and “**Plan2025**” as the password. Attendees may preregister or enter during the meeting. Comments and questions may be submitted via the WebEx app during the meeting, or may be submitted to Carla.Lipsey@coei.org prior to the meeting.

1. **ROLL CALL**
2. **APPROVAL OF AGENDA**
3. **APPROVAL OF MINUTES JAN. 6, 2025**
4. **APPROVAL OF PROOFS OF PUBLICATION**

5. **NEW BUSINESS**

**25-X-02 PETITIONER IS Janelva Gates
PROPERTY IS LOCATED AT 709 Fieldhouse Avenue**

Per Section 5.3, Special Exception Uses, (4.3 F) Day Care Home to allow for the establishment of a new daycare home at 709 Fieldhouse Avenue.

**25-FSP-01 PETITIONER IS A & L Properties Inc & Kyle Miller Ten Com
PROPERTY IS LOCATED AT 1128 Parkway Avenue**

As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan; the request is to modify the landscape plan to remove all sod and replace with either synthetic turf or stone/rock. The stone/rock will cover +/- 77% of the open space. The maximum allowed by ordinance is 20% for boulder, rock, or mulch for the total landscape area. To also request the elimination of street trees. To also replace the proposed sod with synthetic turf within the right of way/tree lawn at 1128 Parkway Avenue.

**25-FSP-02 PETITIONER IS Danville Crossing, LP and LaPorte Partners, LP
PROPERTY IS LOCATED AT 189 County Road 6**

As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan to allow for the construction of a drive-up window (west side of bldg.) and associated order menu board area (south side of bldg.) for a new restaurant user at 189 CR 6 W. Four (4) parking spaces will be removed as a part of this request.

6. **ADJOURNMENT**

**PLEASE REMEMBER TO USE YOUR MICROPHONE WHEN SPEAKING.
ERRORS IN THE MINUTES MAY RESULT DUE TO VOICES BEING INAUDIBLE.**

PLAN COMMISSION
-MINUTES-
Monday, January 6, 2025 - Commenced at 1:45 P.M. & adjourned at 2:13 P.M.
City Council Chambers – Municipal Building

Elkhart City Plan Commission was called to order by Dave Osborne at 1:45 P.M.

MEMBERS PRESENT

Tory Irwin
Diana Lawson
Rochali Newbill
Aaron Mishler
Ron Davis

Members Absent.

Christopher Baiker
Dan Boecher
Dave Osborne

REPRESENTING THE PLANNING DEPARTMENT

Eric Trotter, Assistant Director of Planning

LEGAL DEPARTMENT

Maggie Marnocha, Corporation Counsel

RECORDING SECRETARY

Carla Lipsey

APPROVAL OF AGENDA

Motion to approve by Davis; Second by Mishler. Voice vote carries

APPROVAL OF OCTOBER 2024 MINUTES

Motion to approve by Lawson; Second by Davis

APPROVAL OF PROOF OF PUBLICATION

Motion to approve by Lawson; Second by Mishler. Voice vote carries.

ELECTION OF OFFICERS

Irwin announced that not all members were present for today's meeting. As a result, we will temporarily elect officers until all members can be present for a permanent election for the year. Irwin then asked for nominations for the position of Temporary Vice President. Lawson nominated Aaron Mishler for Temporary Vice President, and Davis seconded the motion.

Lawson nominated Aaron Mishler for Temporary Vice President. Seconded by Davis. Voice vote carries

Davis-Yes
Newbill-Yes
Lawson-Yes
Irwin-Yes
Mishler-Yes

Mishler nominated Tory Irwin for Temporary President, Seconded by Davis. Voice vote carries

Davis-Yes
Newbill-Yes
Mishler-Yes
Lawson-Yes
Irwin-Yes

Trotter informed Irwin that a temporary secretary should be nominated for today's meeting.

Lawson nominates Rochali Newbill as Temporary Secretary. Seconded by Mishler. Voice vote carries.

Lawson-Yes
Mishler-Yes
Newbill-Yes
Davis-Yes
Irwin-Yes

NEW BUSINESS

**24-SUB-05 PETITIONER IS Habitat for Humanity of Elkhart County & KTK Properties LLC
PROPERTY IS LOCATED AT 3105 Homer Avenue**

Per Article 4 of the Subdivision Ordinance, approval of an amended Preliminary Plat for a subdivision known as 'Homer Avenue Subdivision,' to add an additional six (6) lots to the original ten (10)-lot subdivision request; a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

STAFF ANALYSIS

The request is to amend the Preliminary Plat for the subdivision known as 'Homer Avenue Subdivision.' The amendment will add an additional six (6) lots to the original ten (10)-lot subdivision approved by this body in August 2024. The land is located in a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

The petitioner is purchasing land north of the previously approved subdivision to add an additional six (6) lots to the ten (10) previously approved. This request would bring the total acreage to approximately 5.89 acres (including right-of-way). The property is zoned R-2; single-family residences are permitted use in the R-2 District and have a minimum house size of 950 square feet; in the case of two-story houses the first floor must contain 600 square feet.

This phase also has an existing single-family dwelling. It is owned by the seller and will remain owned by KTK Properties. The proposed subdivision will incorporate the home as the proposed Lot 16.

The planned layout will finish the connection to phase one out to Homer Avenue. The new phase will also connect to the planned retention found in phase one. The layout will include five-foot sidewalks to facilitate pedestrian use. This plat includes required setbacks that demonstrate that each lot is buildable.

The west boundary of this subdivision is Manning Ditch, which is a county-regulated drain. All construction will be outside the required 75' setback. The petitioner is seeking permission to overflow into the ditch for

stormwater. At the time of the writing of this report – the approval from the Elkhart County Drainage Board was not finalized.

The project meets the requirements of the Zoning and Subdivision Ordinances including lot size, layout, and street width. It has not been submitted yet to the city’s Technical Review process but will be required to do so and pass prior to construction.

Staff Recommendation

Per IC 36-7-4-702, a plan commission must consider when determining whether to grant primary/preliminary approval of a plat, the plan commission shall determine if the plat or subdivision qualifies for primary/preliminary approval under the standards prescribed by the subdivision control ordinance.

Under the 700 Series of the Indiana Code Statues, the review of primary/preliminary plats are ministerial and if the proposed preliminary/primary plat has adhered to all of the requirements prescribed by the subdivision control ordinance, the plan commission must grant approval, thereby,

The City of Elkhart Planning Staff has reviewed the subject petition and recommends **approval** to amend the Preliminary Plat for a subdivision to be known as ‘Homer Avenue Subdivision,’ for a now sixteen (16)-lot subdivision; a part of the Southeast Quarter of Section 16, Township 37 North, Range 5 East, Concord Township, Elkhart County, Indiana.

The lots meet the minimum lot area requirements for the R-2, One-Family Dwelling District;

- 1) All 16 (adding 6 with this request) proposed single-family lots meet all of the bulk standards of the R-2 Zoning District, One-Family Dwelling District, specifically, minimum lot size, lot frontage, and property development setbacks;
- 2) In review of the proposed preliminary plat for a new major subdivision, Staff finds the petitioner has demonstrated compliance with all the enacted regulations of both the City of Elkhart Zoning and Subdivision Control Ordinance.

Conditions:

- 1) The approval is preliminary only. The applicant must submit the required application materials for Final Plat Approval to the Plat Committee as per Article 5 of the Subdivision Ordinance prior to the issuance of any permits for construction or sale of property.
- 2) Subsequent approvals may be required from the appropriate City Departments. Those approvals may include plans for water supply, storm water retention, sewage disposal, grading, roadway construction and other infrastructure prior to final plat approval.
- 3) Approval is tentative and shall be valid for a maximum period of twelve (12) months. The City Plan Commission may grant an extension upon written request. If the final plat has not been recorded within the time limit, the primary approval is null and void and the preliminary subdivision plan must be resubmitted for approval.

- 4) The project must be reviewed and approved through the City's Technical Review process prior to the submission of the final plat to the Plat Committee.

Trotter notes that 22 letters were mailed, and none were returned.

Irwin asks if there are questions from the Commission.

Mishler asks whether this will be a cul-de-sac or a through road.

Trotter responded that, if you examine the included materials, you'll notice that the southern half was approved in August. At that time, it included a stub street to the north, as they were negotiating with the property owner. Those negotiations have since concluded, and the property owner is now a joint petitioner for today's proposal. They plan to extend the street into a loop, creating a large U shape that will connect both the north and south to Homer Avenue. This current phase, along with the previous phase, will feature single-family homes that will be part of the new subdivision.

Mishler responds, Thank you.

Irwin calls the petitioner forward.

Crystal Welsh from Abonmarche, located at 303 River Race Drive, is representing Habitat for Humanity alongside Greg Cunningham. The petitioner is requesting an amended Preliminary Plat for a subdivision known as the Homer Avenue Subdivision. If approved today, we will proceed to the final approval stage. We have oversized the retention pond to accommodate the new lots without changing its size or location. We hope this will move forward smoothly, so we are here to seek your approval.

Cunningham mentioned that, based on our previous conversation about the ten lots, there is a significant need for housing in the area. Currently, approximately 30 families are waiting for Habitat housing. We are enthusiastic about this project because we have already built four to five homes in the vicinity, all of which meet or exceed community standards. These new homes and lots will be designated for owner-occupied single-family residences.

The house we initially acquired for this project underwent a complete renovation, and we successfully moved a family into it at the end of the year. This home has been extensively remodeled from top to bottom, and the family is thrilled to be living there. We believe this project will positively transform the density of the area. Overall, we think this is an excellent initiative for both the neighborhood and Habitat for Humanity.

Newbill asks if this is a one-story or two-story home.

Cunningham replies that there are two homes on the property. One is a tri-level home that they acquired and renovated, while most of the other homes in the area are single-story. The other owner is keeping their property as a rental and is maintaining it as a single-story home. Overall, their homes consist of a mix of one-story and two-story designs.

Inaudible

Cunningham explains that the minimum requirement for the smallest house they build is a 1,200-square-foot home with three bedrooms and one and a half baths. For families of different sizes or single individuals, they also offer a two-bedroom, one-and-a-half-bath home that is 1,000 square feet, which would be the smallest option available. However, the majority of their homes are three to four bedrooms.

Newbill asks whether the guideline changes based on income.

Cunningham states every year the guideline goes up we are averaging 30-80 % income.

Newbill states that there will be no interest for 30 years.

Cunningham responded that we would remain interest-free for the duration of the loan.

Mishler asks if you provide new owners with a copy of the city's welcome pamphlet that includes information about trash pickup and utility services.

Cunningham replies that we provide them with a homeowners manual as part of our educational partnership. We have code enforcement come and conduct a two-hour session on being a good neighbor, and we provide the information at closing.

Mishler states, Thank you. I want to express that with the recent passing of Jimmy Carter, we have an opportunity to vote on something he cared deeply about: Habitat for Humanity. Thank you for bringing this to our attention.

Irwin opens for public comments in favor or opposition to the petition.

Ralph Spelbring of 236 Bank St. asks the board about the minimum lot size required for a single-family house in the city of Elkhart.

Irwin replied that you are welcome to consult with the staff to get that answered.

Irwin asks if there are questions from the Commission.

Irwin calls for a motion.

Mishler makes a motion to **approve** 24-SUB-05 with a Do-Pass Recommendation; Second by Newbill. Motion carries

Davis -Yes
Newbill-Yes
Mishler-Yes
Lawson-Yes
Irwin- Yes

24-Z-08 PETITIONER IS Vashu Motels
PROPERTY IS LOCATED AT 2807 Cassopolis St

Per Section 29.11.B, Map Amendments, a request to rezone 2807 Cassopolis Street (02-20-454-018) which has two zoning classifications, from B-3, Service Business District and M-1, Limited Manufacturing District to B-3, Service Business District for the entire parcel.

Staff Analysis

The petitioner is requesting a rezoning to allow the hotel site to be redeveloped as a drive-thru coffee shop. The current zoning has the parcel split with two separate zoning districts – B-3, Service Business District at the east end, and the west end being M-1, Limited Manufacturing District. The reason for the request is the mix of zoning found on the site; with B-3, Service Business District being the zoning classification for the entire site.

Staff supports the request. The manufacturing zoning is no longer appropriate for this corridor and the rezoning will make the redevelopment of the site easier. Approving the rezoning would allow for the reuse of the property to a desired use and provide for new investment along this critical corridor. Redevelopment of the site will improve the sense of welcome and Elkhart community image as discussed in the Comprehensive Plan. City staff welcomes this new development.

The parcel is surrounded by other long-established commercial uses. A conceptual site plan of the drive-thru is included in the packet. The project will still need to be submitted for review and approval for Technical Review as well as approval from the Indiana Department of Transportation (INDOT).

Recommendation

The Staff recommends **approval** of the rezoning request based on the following findings of fact:

- 1) The proposed rezoning is compatible with the Future Land Use map, which calls for the area to be developed with commercial uses;
- 2) Current conditions and the character of current structures and uses in each district will not be impacted because the proposed use will blend well with the surrounding commercial and restaurant uses;
- 3) The B-3, Service Business District does allow for the most desirable uses for which the land can be adapted;
- 4) The proposed rezoning will preserve the conservation of property values throughout the City because it is adjacent to other commercial uses;
- 5) The rezoning of the property to B-3, Service Business District is compatible with the surrounding properties and does reflect responsible growth and development because the redevelopment as a drive-thru coffee shop is permitted within the B-3 District.

Trotter states there were 15 letters mailed and 0 returned.

Irwin asks if there are questions from the Commission.

Newbill inquired about the meaning of the project's submission status.

Trotter responds that since it is adjacent to State Road 19, INDOT must consider the curb cuts due to the use change.

Mishler asks if we know the name of the coffee chain.

Trotter indicates that the petitioner is online and can share that with us.

Irwin officially states that the picture included in the packet is incorrect.

Trotter responds, I apologize; I am aware.

Irwin calls the petitioner forward.

John Schebaum, BFA, Civil Engineer, and Roger Franz, the developer for the project, are representing the petitioner who is seeking approval for a rezoning of the property. The aim is to redevelop the hotel site into a drive-thru coffee shop. Currently, the parcel is divided into two separate zoning districts: B-3 (Service Business District) on the east end and M-1 (Limited Manufacturing District) on the west end.

Mishler asks if you can tell us the name of the coffee chain.

Schebaum responded that the name of the coffee shop is Seven Brew.

Irwin opens for public comments in favor or opposition to the petition.

Hearing none, Irwin closes the public portion of the meeting.

Irwin calls for a motion.

Mishler makes a motion to **approve** 24-Z-08 with a Do-Pass Recommendation to Common Council; Second by Newbill.
Motion carries

Mishler-Yes
Newbill-Yes
Lawson-Yes
Davis-Yes
Irwin-Yes

25-SI-01 PETITIONER IS City of Elkhart Planning & Zoning Department
PROPERTY IS LOCATED AT City Of Elkhart

The Planning and Zoning Department is requesting approval of the addresses that have been reserved for structures in the City of Elkhart.

Residential

2619 Greenleaf Boulevard new single-family dwelling 02-34-376-027

Commercial

914 Thomas Street new lift station (TBD)

2620 Ada Drive new fire station 02-26-126-026

Industrial Subdivision

4703 Elkhart East Boulevard	22428 Elkhart East Boulevard
4704 Elkhart East Boulevard	53050 Elkhart East Boulevard
4708 Elkhart East Boulevard	2 Elkhart East Boulevard
4800 Elkhart East Boulevard	22365 Elkhart East Boulevard
4805 Elkhart East Boulevard	22344 Elkhart East Boulevard
4901 Elkhart East Boulevard	VL Elkhart East Boulevard (20-02-25-203-005.000-026)
4902 Elkhart East Boulevard	22285 Elkhart East Boulevard
5000 Elkhart East Boulevard	22105 Elkhart East Boulevard
5005 Elkhart East Boulevard	22158 Elkhart East Boulevard

2500 Columbia Drive
2505 Columbia Drive
2600 Columbia Drive
4801 Challenger Drive
4903 Challenger Drive
5001 Challenger Drive
2503 Discovery Drive
2507 Discovery Drive
2601 Discovery Drive
5003 Endeavour Drive
5100 Endeavour Drive
2605 Market Court
2608 Market Court
2612 Market Court

53320 Columbia Drive
53345 Columbia Drive
53208 Columbia Drive
22420 Challenger Drive
22290 Challenger Drive
22150 Challenger Drive
53339 Discovery Drive
53279 Discovery Drive
53149 Discovery Drive
22158 Endeavour Drive
22047 Endeavour Drive
53211 Market Court
53174 Market Court
53124 Market Court

RECOMMENDATION

Staff recommends that the Plan Commission assign the proposed addresses based on staff recommendation.

Irwin asks if there are questions from the Commission.

Irwin calls for a motion.

Davis makes a motion to **approve** 25-SI-01 with a Do-Pass Recommendation; Second by Mishler. Motion carries

ADJOURNMENT

Lawson makes a motion to adjourn; Second by Mishler. Motion carries

Tory Irwin, President

Aaron Mishler, Vice-President

269-500-1711

MOTORCYCLES & SNOWMOBILES WANTED \$\$\$ CASH PAID \$\$\$ ALL MAKES AND MODELS



269-500-1711

Lawncare and Snow Removal Services for our various Developments and Properties until 4:00PM (local time) on the 14th day of March 2025, at the EHA Central Office Facility located at 1396 Benham Ave, Elkhart, IN 46516. A complete copy of the Request for Proposal can be obtained by downloading it from <https://www.ehai.org/open-public-bids.html> or contacting Erik Mathavan at erik.mathavan@ehai.org HSPAXLP

to appear at the hearing and to file written objections on, or before, the hearing.

/s/ Christopher Anderson, Clerk
hspaxlp

NOTICE OF PUBLIC MEETING CONCERNING THE PROPOSED CONTRACT BETWEEN MIDDLEBURY COMMUNITY SCHOOLS AND JAYSON SNYDER

On March 4, 2025, at 4:00p.m., the Middlebury Community Schools' Board of School Trustees will meet at 56853 Northridge Drive Middlebury, Indiana, to discuss and hear from the public support for and objections to the proposed superintendent's contract for Dr. Jayson Snyder, which will be effective from July 1, 2025 to June 30, 2028

superintendent will receive an annual salary increase equal to the average percentage or fixed dollar raise of teachers if he achieves the rating of "Effective" or "Highly Effective."

Increases: The school board shall annually review the superintendent's performance.
hspaxlp

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Redevelopment Commission of Elkhart County, Indiana, will hold public hearings in Meeting Rooms 104, 106, & 108 at the Administration Building, 117 N. 2nd Street, Goshen, Indiana, on the 6th day of March 2025.

The public hearings will begin at 2 PM (local time), before the Redevelopment Commission.

Initially Proposed Contract Details

**TOWNSHIP OF PORTER
2025 NOTICE OF BOARD OF REVIEW**

PLEASE TAKE NOTICE that the Board of Review will meet at the Township Hall, 69373 Baldwin Prairie Rd. Union, Michigan 49130, to examine and review the 2025 assessment roll. The board will convene on the following dates for the hearing of appeals of assessments or taxable values, poverty exemptions, parcel classification appeals and/or current year qualified agricultural denials:

Tuesday, March 4, 2025, 1:00 pm Organizational Meeting
Wednesday, March 12, 2025, 9:00 am to Noon and 1:00 to 4:00 pm
Thursday, March 13, 2025, 1:00 to 4:00 pm and 6:00 to 9:00 pm

And on such additional days as required to hear all persons who have given notice of the desire to be heard until assessment rolls have been revised, corrected and approved.

APPOINTMENTS ARE REQUIRED, PLEASE CALL 269-641-2375 TO SCHEDULE. Letter appeals will be accepted and must be received no later than 5:00 the Friday before the first appeal hearing.

Tentative ratios and estimated multipliers for 2025 are as follows:

Agricultural	41.37%	1.2086
Commercial	45.13%	1.1079
Industrial	45.89%	1.0896
Residential	43.62%	1.1463
Personal Property	50.00%	1.0000

Tentative equalization factor of 1.0000 for all classes is expected after completion of Board of Review.

Rich Drews, Supervisor Porter Township
Kevin Harris, Assessor Porter Township

Porter Township Board Meetings are open to all without regard to race, color, national origin, sex or disability.

American with Disabilities (ADA) Notice

The township will provide necessary reasonable auxiliary aids and services, to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to Porter Township. Individuals with disabilities requiring auxiliary aids or services should contact Porter Township by writing or calling.

Porter Township Clerk
P. O. Box 517
69373 Baldwin Prairie Rd.
Union, MI 49130
269-641-2375
hspaxlp

NOTICE TO BIDDERS

- The Housing Authority of the City of Elkhart, Indiana will receive sealed Bids in its offices at 1396 Benham Avenue, Elkhart, Indiana 46516, until the hour of 3:00 p.m., local time, March 6, 2025. A public bid opening will occur at that time. Any bid received after the above designated time will be returned unopened. The work shall be performed as per Plans and Specifications prepared by Alliance Architects, 929 Lincolnway East, Suite 200, South Bend, Indiana, and Bids are desired for Generator Replacement in Elkhart, Indiana.
- Work includes replacement of generators for the Riverside and Waterfall High-Rises.
- All prime Contractors submitting Bids on the Project shall encourage qualified minority subcontractors to perform any portion of the Work in the Project which is not performed by the Contractor's own forces. All bidders shall comply with HUD Section 3 Clause of regulation 24 C.F.R. Part 75.
- Said Housing Authority of the City of Elkhart, Indiana is not obligated to accept the lowest or any other Bid submitted and reserves the right to reject any and all Proposals, to waive informalities in any Proposal if it shall be in the judgment of the Housing Authority of the City of Elkhart so to do and to defer the acceptance or rejection until the financial arrangements for said Project are completed.
- Plans and Specifications may be obtained from Alliance Architects, 929 Lincolnway East, Suite 200, South Bend, Indiana, on or after February 13, 2025. Electronic Plans and Specifications are available upon request. If hard copies are required, deposits to be made out to Housing Authority of the City of Elkhart in the amount of Fifty Dollars (\$50.00) will be required of Prime Contractors for each set of Drawings and Specifications, which amount shall be returned in full in case the following two conditions are complied with:
 - The return of Drawings and Specifications within ten (10) days after the date of receiving Bids and
 - The Drawings and Specifications are in usable condition as determined by the Architect. Should any Bidder fail in the observance of EITHER CONDITION, he shall forfeit the FULL AMOUNT of his deposit.
- A Pre-Bid Meeting will be held February 19, 2025, at 9:00 a.m. (local time), beginning at the Riverside High-Rise located at 181 N. Elkhart Avenue, Elkhart, Indiana, with Waterfall immediately after. Site visits that are necessary after this date will be by appointment only and should be made through the Housing Authority of the City of Elkhart, Indiana by contacting Mr. Erik Mathavan, Director of Comprehensive Improvements at 574 295-8392.
- Instructions to Bidders, Plans, and Specifications including General Conditions are on file at:
 - Alliance Architects
929 Lincolnway East, Suite 200
South Bend, Indiana 46601
 - Housing Authority of the City of Elkhart
1396 Benham Avenue
Elkhart, Indiana 46516
www.ehai.org/open-public-bids.html
Generator Replacement
Elkhart Housing Authority NOTICE TO BIDDERS 00 10 00-2
 - MACIAF
212 W. Colfax Ave.
South Bend, IN 46601
 - Dodge Data & Analytics
300 American Metro Blvd., Suite 185
Hamilton, NJ 08619
 - ConstructConnect (f/k/a Construction Journal)
3825 Edwards Road #800
Cincinnati, OH 45209
 - CMD Group, LLC
30 Technology Parkway South, Suite 100
Norcross, GA 30092-2912

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MAKE SOME MONEY

IN THE CLASSIFIEDS TODAY!

LEGAL NOTICE #25-FSP-02

Hearing on proposed Final Site Plan #25-FSP-02

NOTICE is hereby given that the City of Elkhart Plan Commission will meet in the Council Chambers on the second floor of the Municipal Building, 229 South Second Street, Elkhart, Indiana on **MONDAY, March 3, 2025, at 1:45 P.M.** concerning the following request:

A public hearing will be conducted on Final Site Plan #25-FSP-02.

Petitioner: Danville Crossing LP and LaPorte Partners, LP

Request: As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan to allow for the construction of a drive-up window (west side of bldg.) and associated order menu board area (south side of bldg.) for a new restaurant user at 189 CR 6 W. Four (4) parking spaces will be removed as a part of this request.

Location: 189 County Road 6 W.

Zoning: PUD, Planned Unit Development

This meeting can also be accessed via WebEx. Virtual attendance is strongly encouraged but not mandatory; however, City Hall is open for in-person participation. To join, go to <https://signin.webex.com/join>, enter 2316 616 9066 as the meeting number, and "Plan2025" as the password. Attendees may preregister or enter during the meeting. Comments and questions may be submitted via the WebEx app during the meeting or may be submitted to Carla.Lipsey@coei.org prior to the meeting.

LEGAL DESCRIPTION:

Lot Number One (1) as the said Lot is known and designated on the recorded Plat of NORTFIELD MARKET P.U. D.; said Plat being recorded in Plat Book page- in the Office of the Recorder of Elkhart County, Indiana and described as follows: A part of the Northwest Quarter of Section 29, Township 38 North, Range 5 East, in Osolo Township, City of Elkhart, Indiana, more particularly described as follows: Commencing at the Southwesterly corner of said Quarter Section; thence Easterly along the Southerly line of said Quarter Section a distance of 1858.2 feet to a 3/4 inch iron stake; thence North 47 degrees 51 minutes 32 seconds West a distance of 187.35 feet to a 3/4 inch iron stake; thence North 58 degrees 27 minutes 59 seconds West a distance of 1039.39 feet to a 3/4 inch iron stake; thence North Zero degrees 38 minutes 40 seconds West a distance of 1311.21 to a 3/4 inch iron stake at a point lying on the Southerly line of land conveyed to Merlin C. and Olive M. Gilbert (Elkhart County Deed Record 179 Page 605 and Deed Record 185 Page 11); thence South 89 degrees 58 minutes 49 seconds East along the Southerly line of said Gilbert land a distance of 150 feet to a 1/2 inch iron stake at the Southeastly corner of said Gilbert and; thence North Zero degrees 59 minutes 20 seconds West along the Easterly line of said Gilbert land a distance of 661.98 feet to a railroad spike at the Northeastly corner of said Gilbert land, said point also lying on the Northerly line of said Quarter Section and the centerline of County Highway Number 6; thence North 89 degrees 58 minutes East along the Northerly line of said Quarter Section and along the centerline of said County Highway Number 6 a distance of 1375.32 feet to a railroad spike at the Northwesterly corner of land conveyed to Albert R. and Paul S. Simeri (Elkhart County Deed Record 401 Page 895); thence South Zero degrees 46 minutes 54 seconds East along the Westerly line of said Simeri land a distance of 257.24 feet for the beginning point of this description; thence continuing South Zero degrees 46 minutes 54 seconds East along a Westerly line of said Simeri land a distance of 886.72 feet to the Southwesterly corner of said Simeri land thence South 89 degrees 47 minutes 55 seconds West a distance of 824.70 feet to a point of curvature, said EXHIBIT A -CONT'D curve having a radius of 270 feet; thence Northwesterly bearing right along said curve a distance of 101.89 feet (the chord is North 79 degrees 20 minutes 20 seconds West a distance of 101.29 feet); thence North Zero degrees 9 minutes West a distance of 172.34 feet; thence North 89 degrees 51 minutes East a distance of 20.67 feet; thence North Zero degrees 9 minutes West a distance of 255.96 feet; thence North 44 degrees 38 minutes 5 seconds West a distance of 42.81 feet; thence South 89 degrees 51 minutes West a distance of 122.67 feet; thence South 53 degrees 20 minutes 20 seconds West a distance of 47.9 feet; thence North Zero degrees 9 minutes West a distance of 112 feet; thence South 53 degrees 16 minutes 48 seconds East a distance of 47.5 feet; thence North 89 degrees 51 minutes East a distance of 130.17 feet; thence North 44 degrees 51 minutes East a distance of 32.53 feet; thence North Zero degrees 9 minutes West a distance of 265.57 feet; thence North 45 degrees 9 minutes West a distance of 32.53 feet; thence South 89 degrees 51 minutes West a distance of 132.17 feet; thence South 53 degrees 25 minutes 59 seconds West a distance of 28.58 feet; thence North Zero degrees 9 minutes West a distance of 79.30 feet; thence South 63 degrees 29 minutes 7 seconds East a distance of 43.08 feet; thence North 89 degrees 51 minutes East a distance of 304.55 feet; thence North 45 degrees East a distance of 32.61 feet; thence North Zero degrees 9 minutes West a distance of 148.25 feet; thence North 45 degrees 9 minutes West a distance of 60.10 feet to a point on the Southerly right-of-way line of said aforementioned County Highway Number 6; thence North 89 degrees 58 minutes East along said right-of-way line of 120 feet; thence South 44 degrees 51 minutes West a distance of 60.11 feet; thence South Zero degrees 9 minutes East a distance of 147.99 feet; thence South 45 degrees East a distance of 32.44 feet; thence North 89 degrees 51 minutes East a distance of 377 feet; thence North 45 degrees east a distance of 32.61 feet; thence North Zero degrees 9 minutes West a distance of 147.32 feet; thence North 45 degrees 9 minutes West a distance of 60.1 feet to a point on the Southerly right-of-way line of said aforementioned County Highway Number 6; thence North 89 degrees 58 minutes East along said right-of-way line a distance of 120 feet; thence South 44 degrees 51 minutes West a distance of 60.11 feet; thence South Zero degrees 9 minutes East a distance of 147.06 feet; thence South 45 degrees East a distance of 32.44 feet; thence North 89 degrees 51 minutes East a distance of 189.87 feet to the place of beginning Arguments for and against the granting of the above-designated petition will be heard at this meeting.

PLEASE NOTE: A copy of this petition is on file in the Planning Office for public examination prior to the hearing. Written objections to this petition which are filed with the Secretary of the Commission, located in the Planning Office, prior to the hearing will be considered. The hearing may be continued from time to time as may be found necessary.

Dated at Elkhart, Indiana this 19th day of February 2025, by the City of Elkhart, Plan Commission.

Publication Date: 2/21/2025

HSPAXLP

Careers are made in the Classifieds... Find One Today!

STATE OF INDIANA) IN THE ELKHART COUNTY SUPERIOR COURT 02)
COUNTY OF ELKHART) CAUSE NO: 20D02-2408-PL-000168)
SS:

Plaintiff,
SafeCo Insurance Company of Indiana,

Vs.

Defendant.
Devon M. Kirby,

**SUMMONS - SERVICE BY PUBLICATION
NOTICE OF SUIT**

The State of Indiana to the defendant(s) above named, and any other person who may be concerned. You are notified that you have been sued in the Court above named. The nature of the suit against you is:

NEGLIGENCE FOR AN AUTOMOBILE ACCIDENT THAT OCCURRED ON OCTOBER 18, 2022 ON W. BRISTOL IN ELKHART, ELKHART COUNTY, INDIANA.

This summons by publication is specifically directed to the following named defendant(s) whose addresses are defendant(s) whose whereabouts are unknown:

DEVON M. KIRBY

In addition to the above-named defendant(s) being served by this summons there may be other defendant(s) who have an interest in this law suit.

If you have a claim for relief against the plaintiff arising from the same transaction or occurrence, you must assert it in your written answer. You must answer the Complaint in writing, by you or your attorney within thirty (30) days after the Third Notice of Suit, and if you fail to do so a judgment will be entered against you for what the plaintiff has demanded.

By: Herbert L. Nussle (38682-49)
KEIS GEORGE LLP
55 Public Square, #1900
Cleveland, Ohio 44113
hnussle@keisgeorge.com
(216) 241-4100 FAX (216) 771-3111
Attorney for Plaintiff

ATTEST:
Clerk of the ELKHART Court
hspaxlp

LEGAL NOTICE #25-FSP-01

Hearing on proposed Final Site Plan #25-FSP-01

NOTICE is hereby given that the City of Elkhart Plan Commission will meet in the Council Chambers on the second floor of the Municipal Building, 229 South Second Street, Elkhart, Indiana on **MONDAY, March 3, 2025, at 1:45 P.M.** concerning the following request:

A public hearing will be conducted on Final Site Plan #25-FSP-01.

Petitioner: A & L Properties Inc. & Kyle Miller Ten Com

Request: As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan; the request is to modify the landscape plan to remove all sod and replace with either synthetic turf or stone/rock. The stone/rock will cover +/- 77% of the open space. The maximum allowed by ordinance is 20% for boulder, rock, or mulch for the total landscape area. To also request the elimination of street trees. To also replace the proposed sod with synthetic turf within the right of way/tree lawn at 1128 Parkway Avenue.

Location: 1128 Parkway Avenue

Zoning: PUD, Planned Unit Development - B-3, Service Business District Standards

This meeting can also be accessed via WebEx. Virtual attendance is strongly encouraged but not mandatory; however, City Hall is open for in-person participation. To join, go to <https://signin.webex.com/join>, enter 2316 616 9066 as the meeting number, and "Plan2025" as the password. Attendees may preregister or enter during the meeting. Comments and questions may be submitted via the WebEx app during the meeting or may be submitted to Carla.Lipsey@coei.org prior to the meeting.

LEGAL DESCRIPTION:
Lot Numbered Fourteen (14) as shown on the plat of Parkway at 17 DPUD-Phase IV recorded October 23, 2015, in the Office of the Recorder of Elkhart County, Indiana, as Instrument No. 2015-22029 and recorded in Plat Book 36, page 6, Arguments for and against the granting of the above-designated petition will be heard at this meeting.

PLEASE NOTE: A copy of this petition is on file in the Planning Office for public examination prior to the hearing. Written objections to this petition which are filed with the Secretary of the Commission, located in the Planning Office, prior to the hearing will be considered. The hearing may be continued from time to time as may be found necessary.

Dated at Elkhart, Indiana this 19th day of February 2025, by the City of Elkhart, Plan Commission.

Publication Date: 2/21/2025

HSPAXLP



Staff Report

Planning & Zoning

<u>Petition:</u>	25-X-02
<u>Petition Type:</u>	Special Exception
<u>Date:</u>	Plan Commission: March 3, Board of Zoning Appeals: March 13, 2025
<u>Petitioner:</u>	Janela Gates
<u>Site Location:</u>	709 Fieldhouse Avenue
<u>Request:</u>	Per Section 5.3, Special Exception Uses, (4.3 F) Day Care Home to allow for the establishment of a new day care home at 709 Fieldhouse Avenue.
<u>Existing Zoning:</u>	R-2, Single Family Dwelling District
<u>Size:</u>	+/- .224 Acres
<u>Thoroughfares:</u>	Fieldhouse Avenue
<u>School District:</u>	Elkhart Community Schools
<u>Utilities:</u>	Available and provided to site.
<u>Surrounding Land Use & Zoning:</u>	Surrounding properties are residential zoned R-2.
<u>Applicable Sections of the Zoning Ordinance:</u>	Enumerated in request.
<u>Comprehensive Plan:</u>	The Comprehensive Plan calls for this area to be developed with low density residential uses.



Staff Analysis

The petitioner is seeking local permission to operate a home day care at 709 Fieldhouse Avenue. The City of Elkhart requires, in addition to state approvals, an approved special exception to operate a home day care.

The house, built in 2024, based on assessor records comprises approximately 960 square feet on a .224-acre site. The house and grounds appear to be in good condition. The house has a spacious backyard with a small driveway; parents may use part of the driveway or the two streets to drop off and pick up children. The daycare will necessitate a license from the Indiana Family and Social Service Administration (FSSA)

Recommendation

Staff recommends **approval** of the request based on the following findings of fact:

1. The special exception is so defined, located and proposed to be operated that the public health, safety and welfare will be protected because the site has a fenced yard and parents can park on either of the two intersecting streets;
2. The special exception will not reduce the values of other properties in its immediate vicinity because the site must retain its residential character;
3. The special exception shall conform to the regulations of the Zoning District in which it is to be located because there can be no noise, smoke or odors that would compromise the neighboring properties.

Conditions

If the Board chooses to approve the requested special exception, staff recommends that the following conditions be placed upon the approval:

1. All children shall be restricted to the building and fenced-in play area except when arriving and leaving or on supervised walks or outings.
2. The facility and grounds shall be kept clean at all times.
3. The facility shall be subject to inspection upon reasonable notice, by the zoning administrator during hours of operation.
4. There shall be no exterior display, signs, or other forms of advertising on the premises.
5. A copy of the child care home license shall be submitted to the Department of Planning and Zoning upon receipt from the Indiana Family and Social Services Administration.
6. If the day care ceases to operate for more than one (1) year, or the license is revoked, the Special Exception becomes null and void.
7. Any violation of the terms of this Special Exception as determined by the City Zoning Administrator shall render the Special Exception invalid.
8. There shall be a maximum twelve (12) children.
9. The operator of the day care shall live on the premises.
10. The Special Exception is for two (2) years and shall be reviewed as a staff item by the Board of Zoning Appeals by March 13, 2027.

Photos



Feb 21, 2025 at 3:58:22 PM
708 Fieldhouse Ave
Elkhart IN 46517
United States



Feb 21, 2025 at 4:00:10 PM
724 Markle Ave
Elkhart IN 46517
United States

PETITION #: 25-X-02

FILING FEE: \$ 300

PETITION for APPEAL to the BOARD of ZONING APPEALS

PETITION TYPE: SPECIAL EXCEPTION

Property Owner(s): Janelya Gates

Mailing Address: 709 Fieldhouse Ave

Phone # [REDACTED] Email: [REDACTED]

Contact Person: Janelya Gates

Mailing Address: 709 Fieldhouse Ave

Phone # [REDACTED] Email: [REDACTED]

Subject Property Address: 709 Fieldhouse Ave

Zoning: _____

Present Use: Living Proposed Use: Family In-home Childcare

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT): Janelya Gates

SIGNATURE(S): [Signature] DATE: 01/27/25

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Board of Appeals docket:

- One copy of the Appeal Letter signed in ink by the owner (or representative) of the property.
- A completed Petition form signed by the legal owner of record (or approved representative).
- If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- A full and accurate legal description of the property.
- One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 12 copies must be submitted.
- Optional: any supplementary information the applicant may wish to include.

Ordinance Requirement: Section(s): _____

Map #: _____ Area: _____

RECEIVED BY: [Signature] DATE: 1/29/25

Janelya Gates
709 Fieldhouse Ave
Elkhart, Indiana, 46517

[REDACTED]
[REDACTED]
01/28/2025

To: Plan Commission & Board of Zoning Appeals
City of Elkhart, Indiana
Re: Special Exception Request

The undersigned petitioner respectfully shows the Plan Commission and Board of Zoning Appeals:

I, Janelya Gates, am the owner of the following described real estate located within the city of Elkhart at 709 Fieldhouse Ave Elkhart County, State of Indiana. The above-described real estate presently has a zoning classification of single-family residential in the R-2, ONE-FAMILY DWELLING DISTRICT under the Zoning Ordinance of the City of Elkhart. Currently, the property is used as a residential home where my children and I live. However, I am requesting a special exception to operate a family home childcare business within my residence. This childcare service allows me to run a small business from home. The Zoning Ordinance of the City of Elkhart requires special approval from home-based childcare operations. My requirements align with these regulations, as I will comply with all state licensing requirements and adhere to health and safety guidelines to ensure a secure environment for children in my care.

The property is well suited for the requested special exception due to the following reasons:

1. Public Health, Safety, and Welfare: My childcare business will operate in full compliance with the state-mandated safety regulations, including proper supervision, secure play areas, and emergency preparedness measures. There will be no adverse impact on public health, safety, or welfare. My childcare business will meet the growing need for quality childcare in the community, supporting working families. The home-based setting provides a safe and nurturing environment for children.
2. Property values: The presence of a small, in-home childcare business will not negatively affect the property values in the surrounding neighborhood. The home will remain well-maintained, and no structural changes will be made that would alter the residential character of the property.
3. Zoning Compliance: the requested special exception aligns with the zoning regulations, as family home childcare services are an allowable use under special conditions. My

business will not disrupt the residential nature of the neighborhood, as it will have minimal impact on traffic, noise levels, and overall community aesthetics.

For these reasons, I respectfully ask that the approval of this special exception so I may service a family home childcare business within my residence. I am happy to provide more details and address any concerns at the scheduled hearing.

WHEREFORE, Petitioner prays and respectfully requests a hearing on this appeal and that after such hearing, the Board grant the requested special exception for the in-home childcare facility.

A handwritten signature in black ink, appearing to read "Janelya Gates". The signature is fluid and cursive, with a large initial "J" and a long horizontal stroke.

Janelya Gates

Contact Person: Self/Joyful Journeys Daycare

Name: Janelya Gates

Address: 709 Fieldhouse Ave Elkhart, Indiana 46517

Phone number where I can be reached:

Email:

AFFIDAVIT IN SUPPORT OF SPECIAL EXCEPTION PETITION

I, Janelya, being first duly sworn upon his/her oath deposes and says that he/she is familiar with and has personal knowledge of the facts herein and, if called as a witness in this matter, would testify as follows:

- 1. I am over eighteen (18) years of age and am competent to testify to the matters contained herein.
- 2. I make this affidavit in support of my special exception petition filed contemporaneously herewith.
- 3. I am now and at all times relevant herein have been, the owner of record of the property located at 709 Fieldhouse Ave Elkhart, Indiana.
- 4. FURTHER AFFIANT SAYETH NOT.

EXECUTED on the 01 day of 27, 2025.

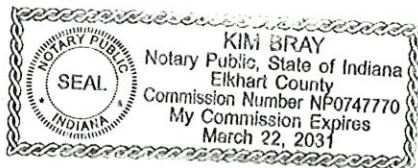
Janelya Gates
Printed: Janelya Gates

I certify under the penalties for perjury under the laws of the United States of America and the State of Indiana that the foregoing factual statements and representations are true and correct.

Janelya Gates
Printed: Janelya Gates

STATE OF INDIANA)
) SS:
COUNTY OF ELKHART)

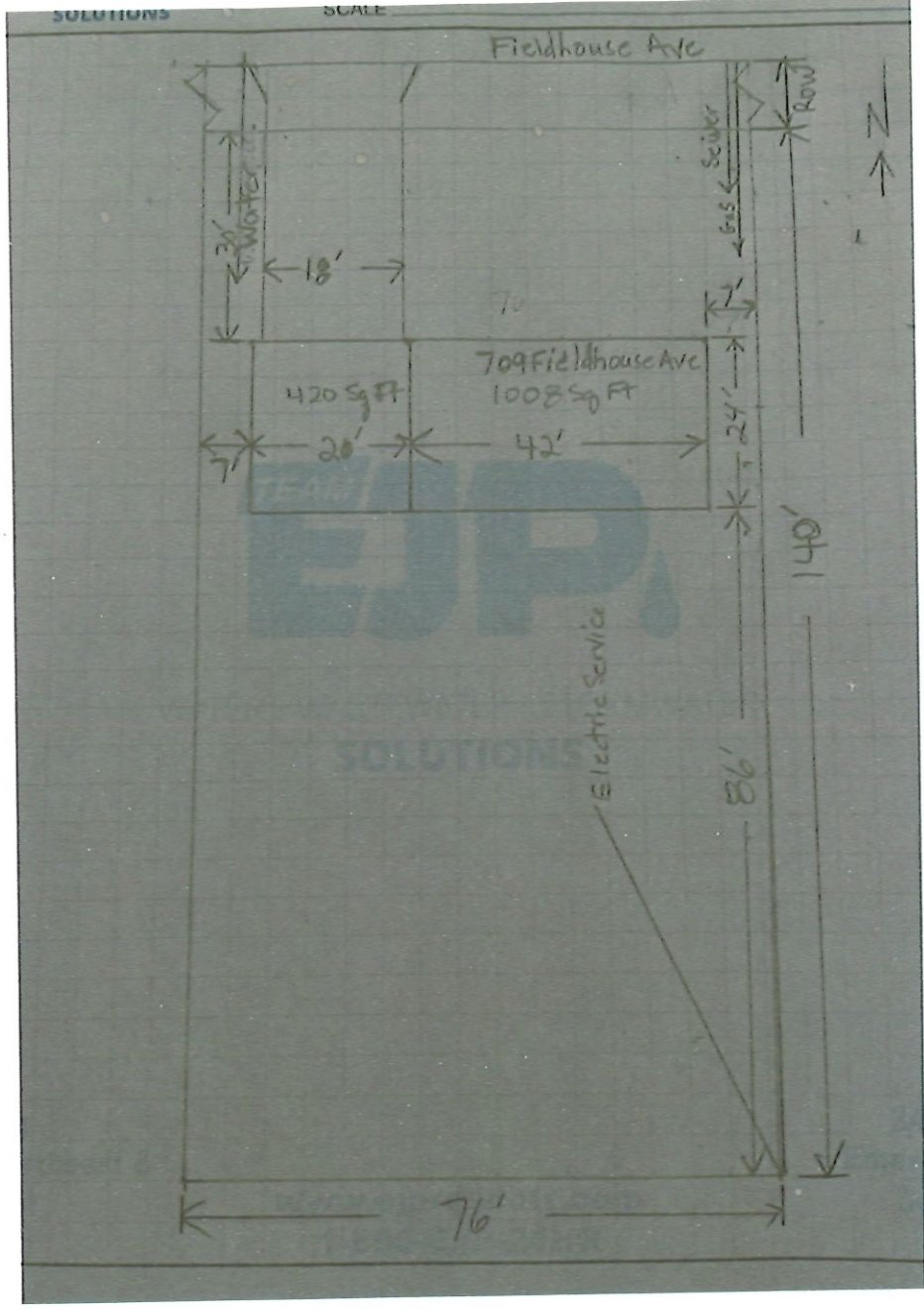
Before me the undersigned, a Notary Public in and for the State of Indiana, personally appeared in person, and acknowledged his/her execution of the foregoing. Subscribed and sworn to before me this 27th day of January, 2025.



My Commission Expires:
March 22, 2031

Kim Bray
Printed: Kim Bray

Notary Public in and for the State of Indiana
Resident of Elkhart County, Indiana



House Design



Staff Report

Planning & Zoning

Petition: 25-FSP-01

Petition Type: Final Site Plan

Date: March 3, 2025

Petitioner: A and L Properties, Inc. and Kyle Miller

Site Location: 1128 Parkway Avenue

Request: As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan; the request is to modify the landscape plan to remove all sod and replace with either synthetic turf or stone/rock. The stone/rock will cover +/- 77% of the open space. The maximum allowed by ordinance is 20% for boulder, rock, or mulch for the total landscape area. To also request the elimination of street trees. To also replace the proposed sod with synthetic turf within the right of way/tree lawn at 1128 Parkway Avenue.

Existing Zoning: PUD, Planned Unit Development – B-3, Service Business District Standards

Size: +/- .87 acre

Thoroughfares: Parkway Avenue

School District: Middlebury Community Schools

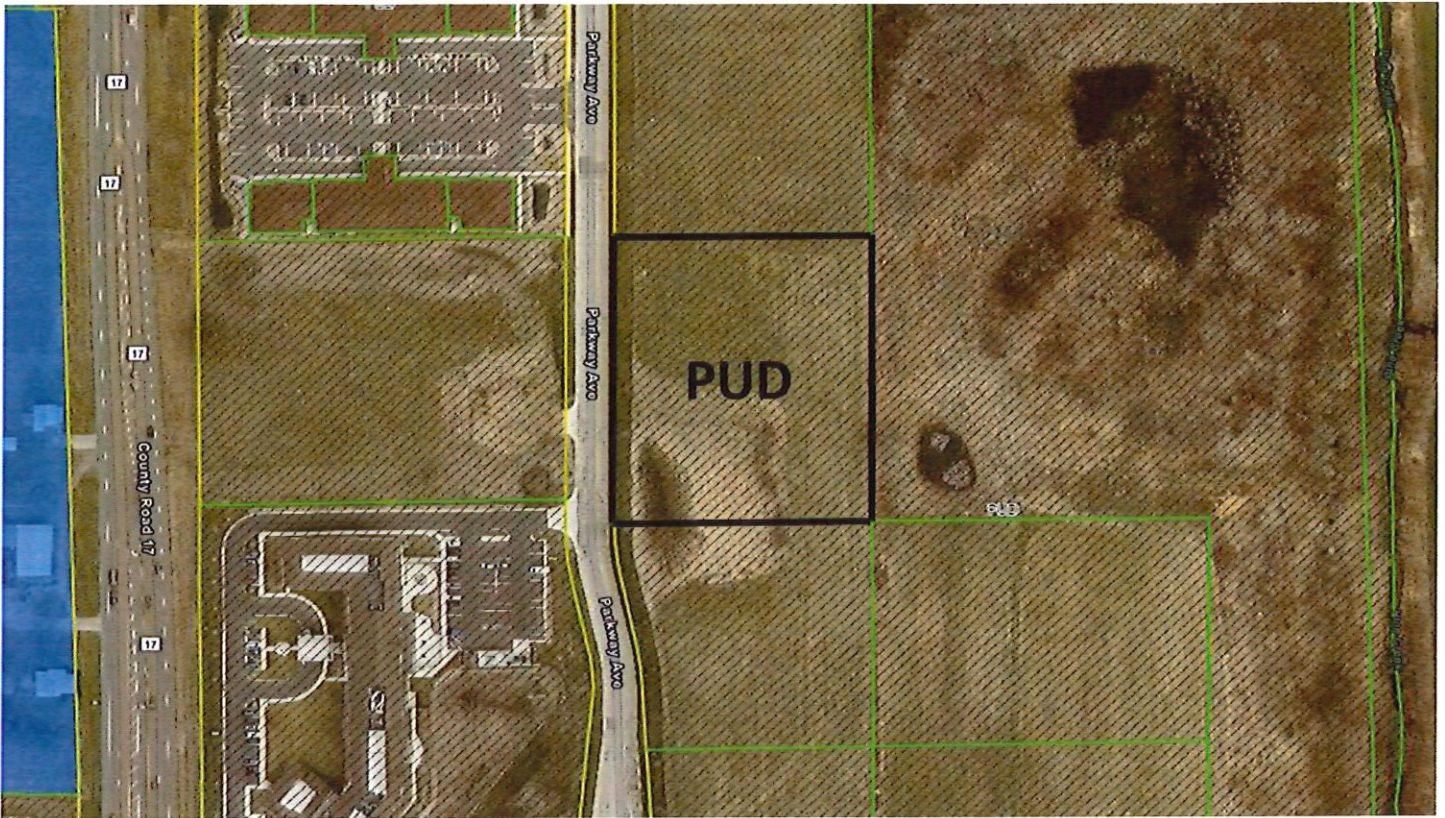
Utilities: Available and provided to site

Surrounding Land Use & Zoning:
The property is surrounded by commercial uses. The zoning is PUD. Land to the east is located in Elkhart County.

Applicable Sections of the Zoning Ordinance:
Section 20.7.B – Final Site Plan

Comprehensive Plan:
The Comprehensive Plan calls for the land to be developed with commercial uses.

Plan Commission Action: Approval or denial of request – with or without any additional conditions



Staff Analysis

As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan; the request is to modify the landscape plan to remove all sod and replace with either synthetic turf or stone/rock. The stone/rock will cover +/- 77% of the open space. The maximum allowed by ordinance is 20% for boulder, rock, or mulch for the total landscape area. To also request the elimination of street trees. To also replace the proposed sod with synthetic turf within the right of way/tree lawn at 1128 Parkway Avenue.

The petitioner's initial site plan was approved in October 2024 (24-FSP-06) for a 27,604 square foot commercial building with associated parking. The project had been, and was, approved at Technical Review prior to the Final Site Plan hearing and before any building permits were issued for the project.

In December 2024, the petitioner and their agent met with staff to discuss the idea of eliminating some of the landscaping and all sod to ease the maintenance of a traditional yard and plants in favor of artificial turf and rock. The desire was to reduce the maintenance of traditional sod and eliminate the cost of mowing, irrigation and chemical applications for weed and pest control. The landscape material around the building and at the drive entrance would remain.

This is an unusual request. Staff cannot recall any similar type of circumstance where the request was to eliminate virtually all green plant material on a site within the city. The petitioner has provided the cut sheets for the turf material requested as a part of the amendment. Staff can appreciate the desire to minimize the time, effort and expense of maintaining property but everyone who owns property is tasked with ongoing maintenance.

Staff is willing to support most of the request with the exception of the modifications within the tree lawn. Staff feels it is important to provide the street trees for not only the environmental benefits but street trees act as a traffic calming

feature along streets and soften hardscape against the built environment. The final decision for the right of way modifications will need to be heard before the Board of Works.

Recommendation

The Staff recommends approval of the final site plan based on the following findings of fact:

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community;
2. The proposed use is permitted within the underlying zoning of the Planned Unit Development;
3. The project has passed the City's Technical Review process;
4. The use conforms to the Comprehensive Plan which calls for commercial uses;
5. The proposed use should not be detrimental to the property values of adjacent properties.

Conditions

1. The petitioner shall petition the Board of Works, to seek approval, for the requested modifications for the removal of street tree and placement of artificial turf.

Photos





Land Surveying · Civil Engineering · Planning · Architecture · Project Funding · GIS · Environmental · Renewable Energy · Landscape Architecture

January 29, 2025

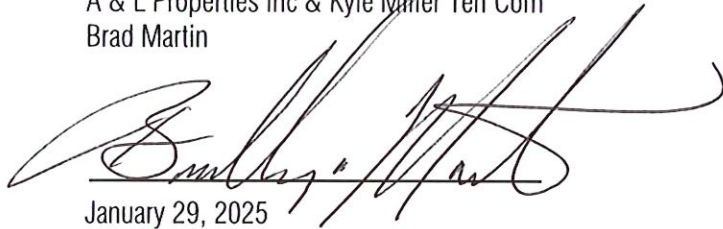
The Plan Commission, City of Elkhart, Indiana

Dear Plan Commission Members,

Please allow this letter to serve as authorization to allow representatives from A & L Properties Inc & Kyle Miller Ten Com and Jones Petrie Rafinski to apply for and seek your approval for Final Site Plan Approval for the property located at 1128 Parkway Avenue, Elkhart IN 46516 at 17 DPUD Phase II TRACT A, Tax Parcel #07-07-100-017-039.

Owners

A & L Properties Inc & Kyle Miller Ten Com
Brad Martin



January 29, 2025

PETITION #: 25-FSP-01

FILING FEE: \$ 400.00

PETITION to the PLAN COMMISSION

PETITION TYPE: FINAL SITE PLAN

Property Owner(s): A & L PROPERTIES INC & KYLE MILLER TEN COM

Mailing Address: 53905 Co Rd 9, Elkhart, IN 46514

Phone #: [REDACTED]

Email: [REDACTED]

Contact Person: Brad Martin

Mailing Address: 53905 Co Rd 9, Elkhart, IN 46514

Phone #: [REDACTED]

Email: [REDACTED]

Subject Property Address: 1128 Parkway Avenue, Elkhart, IN 46516

Zoning: PUD with underlying B-3, Service Business District

Present Use: Construction for Commercial Use

Proposed Use: Commercial Use

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT):

Bradley D Martin

SIGNATURE(S):

[Handwritten Signature]

DATE:

1/30/25

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Plan Commission docket:

- A completed Petition form signed by the legal owner of record (or approved representative).
- If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- A full and accurate legal description of the property.
- One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 12 copies must be submitted.
- One copy of the Appeal Letter signed in ink by the owner (or representative) of the property. (Optional)
- Any other information listed in the Instructions and Filing Procedure for this type of Petition.

Ordinance Requirement: Section(s): _____

Map #: _____

Area: _____

RECEIVED BY: _____

DATE: _____

Final Site Plan Request Narrative for Landscape Design Amendments

Project Site: 1128 Parkway Avenue, Elkhart IN 46516

Applicant: A & L Properties Inc & Kyle Miller Ten Com

Property Owner: Brad Martin & Kyle Miller

Date: 01/29/2025

Submitted to: City of Elkhart Plan Commission

Project Overview:

The project site is currently under construction and has previously received approval through the City of Elkhart's Technical Review and the Plan Commission. Upon completion, the site will consist of a commercial building specializing in screen printing and embroidery operations, offering a variety of products with custom logo implementations. As construction progresses, the site owner is seeking approval for modifications to the previously approved landscape design. These modifications include changes to the ground cover materials and the removal of previously planned street trees. The following narrative outlines the requested variances and the rationale for each change.

Requested Final Site Plan Amendments:

1. Replacement of Grass with Synthetic Turf, Slate Stone, and River Rock

The site owner proposes to replace all originally approved grass areas with a combination of high-quality ForeverLawn Select Synthetic Grass, gray slate stone, and river rock stone. The allocation of these materials is as follows:

- **ForeverLawn Select Synthetic Grass** will be installed in the western landscape areas surrounding the sidewalk and within the right-of-way limits.
- **Gray Slate Stone** will be used within the planting beds and along the western building edge to enhance the aesthetic appeal of the site while maintaining a clean and professional appearance.
- **River Rock Stone** will be installed in the remaining areas where grass was originally planned, specifically covering portions to the north, east, and south of the property. Additionally, the delineated wetland located on the southwestern corner of the site will remain unchanged except for the permitted modified portion, which will receive river rock treatment to maintain a consistent and low-maintenance landscape.

Justification for Modification:

- **Durability & Maintenance:** The use of synthetic turf and stone significantly reduces maintenance efforts and long-term costs associated with traditional grass. This alternative will maintain a pristine appearance year-round without the need for irrigation, mowing, or chemical treatments.
- **Environmental Considerations:** Eliminating the need for chemical fertilizers, pesticides, and excessive water usage contributes to sustainable site management. Additionally, the selected materials provide superior erosion control and reduce stormwater runoff issues.

- **Aesthetic & Functional Enhancement:** The combination of synthetic turf, gray slate stone, and river rock creates a modern and cohesive landscape design that aligns with the high-quality branding and professional image of the business.
 - **Precedent in Commercial Development:** Similar landscape solutions have been successfully implemented in a variety of properties within Elkhart and surrounding areas, demonstrating the effectiveness and suitability of this approach.
 - **Acknowledgment of Right-of-Way Conditions:** The site owner understands that any synthetic turf installed within the city right-of-way is subject to removal and replacement at the site owner's expense if utility work is required within the right-of-way.
-

2. Removal of Five (5) Previously Approved Sugar Maple Street Trees

The site owner seeks approval to remove the five proposed sugar maple trees along the western edge of the property that were included in the initial approved landscape plan.

Justification for Modification:

- **Visibility & Business Signage:** The removal of these trees will enhance visibility to the commercial building and its signage from the adjacent roadway, improving wayfinding for customers and potential clients.
 - **Site Design & Functionality:** Given the nature of the business, open sightlines and an unobstructed façade are essential for attracting and welcoming customers. The presence of mature sugar maple trees may obscure views of the entrance and signage, hindering effective business operations.
 - **Safety Considerations:** Tree roots over time may impact adjacent sidewalks and utilities, creating potential maintenance concerns and hazards.
 - **Alternative Landscaping Elements:** While the street trees are being removed, the site will still maintain diverse and visually appealing landscape elements, including synthetic turf, slate stone, river rock, and planting beds that enhance the overall aesthetics of the property.
-

Conclusion & Request for Approval

The proposed landscape modifications align with the overall vision of the development while offering long-term maintenance benefits, improved aesthetics, and enhanced functionality. The alternative materials selected will provide a sustainable and visually appealing solution that ensures the property remains well-maintained and inviting. Additionally, the removal of the five sugar maple trees is a strategic decision to maintain clear visibility, improve safety, and support the business's operational needs.

We appreciate the Commission's time and consideration of this request. Please feel free to reach out with any questions or requests for further clarification.



Remarkable natural grass appearance.

A waterless, low-maintenance alternative to live grass.

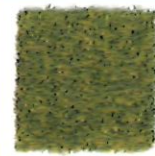
Great for areas where natural grass is difficult to grow or maintain.

Exceptional resiliency and improved performance.

Designed for long-lasting installations in any climate.

Natural Appearance for a Pristine Landscape

ForeverLawn® Select Synthetic Grass has taken realism to a new level. This innovative line of fine-bladed, lush synthetic grass features a tan thatch, multicolored blades, and Memory Fiber™ yarn that offers a remarkably realistic appearance and performance. Ideal for residential and commercial landscaping, Select Synthetic Grass offers resilient blades and dense construction. Built on the ForeverLawn proprietary platform, this beautiful grass product line is great for replicating a natural grass look and feel in any environment.



Select EL

 Fresh cut
 Green/olive



Select HD

 Fresh cut
 Bright



Select LX

 Long and lush
 Green/olive



Select VR

 Long and lush
 Bright



8007 Beeson St.
 Louisville, Ohio 44641
 866.992.7876
 foreverlawn.com



Unique Memory Fiber™ yarn.

Tan hatch zone.

Dual color green blades.

Proprietary seaming system.

Premium multilayered backing.

Comprised of recycled material from Project Yellowstone.**

Features BioCel™ turf backing with renewable and recycled materials.

**Project Yellowstone is an innovative recycling program with Yellowstone National Park and Universal Textile Technologies in which plastic bottles from the park are recycled and made into backings for premium carpet and artificial turf. Visit universal-textiles.com to learn more.



Select Synthetic Grass has taken realism to a new level.

These innovative, fine-bladed synthetic grass products provide realistic, waterless alternatives to natural grass that reduce maintenance while offering a soft, lush, usable artificial grass surface.

COMPONENTS	Select EL	Select HD	Select LX	Select VR
YARN TYPE	<ul style="list-style-type: none"> Primary: Polyethylene monofilament Memory Fiber™ Secondary: Heat set textured nylon monofilament 	<ul style="list-style-type: none"> Primary: Polyethylene monofilament Memory Fiber™ Secondary: Heat set textured nylon monofilament 	<ul style="list-style-type: none"> Primary: Polyethylene monofilament Memory Fiber™ Secondary: Heat set textured nylon monofilament 	<ul style="list-style-type: none"> Primary: Polyethylene monofilament Memory Fiber™ Secondary: Heat set textured nylon monofilament
YARN COLOR	<ul style="list-style-type: none"> Primary: Field/olive green Secondary: Turf green/dark tan 	<ul style="list-style-type: none"> Primary: Field/clover green Secondary: Turf green/dark tan 	<ul style="list-style-type: none"> Primary: Field/olive green Secondary: Turf green/dark tan 	<ul style="list-style-type: none"> Primary: Field/clover green Secondary: Turf green/dark tan
YARN COUNT	<ul style="list-style-type: none"> Primary: 10,800/6 Secondary: 5,040/12 	<ul style="list-style-type: none"> Primary: 10,800/6 Secondary: 5,040/12 	<ul style="list-style-type: none"> Primary: 10,800/6 Secondary: 5,040/12 	<ul style="list-style-type: none"> Primary: 10,800/6 Secondary: 5,040/12
TUFTING CONSTRUCTION	• Dual yarn, same row	• Dual yarn, same row	• Dual yarn, same row	• Dual yarn, same row
TUFTING GAUGE	• 3/8"	• 3/8"	• 3/8"	• 3/8"
BLADE HEIGHT	• 1-3/4" ²	• 1-3/4" ²	• 2" ²	• 2" ²
FACE WEIGHT	• 50 oz. ²	• 50 oz. ²	• 70 oz. ²	• 70 oz. ²
TOTAL PRODUCT WEIGHT	• 105 oz. ²	• 105 oz. ²	• 125 oz. ²	• 125 oz. ²
BACKING	• Three-layer premium backing made with BioCel™ polyurethane and 100% recycled geotextile nonwoven fabric on a dual layer primary.	• Three-layer premium backing made with BioCel™ polyurethane and 100% recycled geotextile nonwoven fabric on a dual layer primary.	• Three-layer premium backing made with BioCel™ polyurethane and 100% recycled geotextile nonwoven fabric on a dual layer primary.	• Three-layer premium backing made with BioCel™ polyurethane and 100% recycled geotextile nonwoven fabric on a dual layer primary.
SEAMING	• Micromechanical bonding	• Micromechanical bonding	• Micromechanical bonding	• Micromechanical bonding
INFILL ¹	• 0.5 pounds of rubber or 3.5 lbs. +/- of rounded sand	• 0.5 pounds of rubber or 3.5 lbs. +/- of rounded sand	• 0.75 pounds of rubber or 4 lbs. +/- of rounded sand	• 0.75 pounds of rubber or 4 lbs. +/- of rounded sand

¹ Recommended infill for normal installation. More or less can be used, and heavy traffic areas will perform better with higher infill levels.

² Product heights shown may have a variance of 1/8" and product weights shown may have a variance of 5%.

ForeverLawn
landscape

8007 Beeson St.
Louisville, Ohio 44641
866.992.7876
foreverlawn.com

ForeverLawn Fusion

Product Specifications

Beautiful. Durable. Resilient.

ForeverLawn® Fusion™ featuring our proprietary Legacy Fiber™ yarn, combines premium performance with natural appearance. The grass blades in Fusion can endure temperatures up to 200 degrees higher than standard polyethylene artificial grass without experiencing melting or deformation.

Components	Fusion Flex	Fusion Elite	Fusion Pro
Yarn Type	<ul style="list-style-type: none"> Primary: Nylon monofilament Secondary: Textured nylon monofilament 	<ul style="list-style-type: none"> Primary: Nylon monofilament Secondary: Textured nylon monofilament 	<ul style="list-style-type: none"> Primary: Nylon monofilament Secondary: Textured nylon monofilament
Yarn Color	<ul style="list-style-type: none"> Primary: Verde/Lime/Tan Secondary: Verde 	<ul style="list-style-type: none"> Primary: Verde/Lime/Tan Secondary: Field/Olive Green 	<ul style="list-style-type: none"> Primary: Verde/Lime/Tan Secondary: Field/Olive Green
Yarn Count	<ul style="list-style-type: none"> Primary: 5600/8 Secondary: 3300/6 	<ul style="list-style-type: none"> Primary: 8800/8 Secondary: 4950/9 	<ul style="list-style-type: none"> Primary: 8800/8 Secondary: 4950/9
Tufting Construction	<ul style="list-style-type: none"> Dual yarn, same row 	<ul style="list-style-type: none"> Dual yarn, same row 	<ul style="list-style-type: none"> Dual yarn, same row
Tufting Gauge	<ul style="list-style-type: none"> 3/8" 	<ul style="list-style-type: none"> 3/8" 	<ul style="list-style-type: none"> 3/8"
Blade Height	<ul style="list-style-type: none"> 1 5/8"* 	<ul style="list-style-type: none"> 1 3/4"* 	<ul style="list-style-type: none"> 1 3/8"*
Face Weight	<ul style="list-style-type: none"> 48 oz.* 	<ul style="list-style-type: none"> 50 oz.* 	<ul style="list-style-type: none"> 45 oz.*
Total Product Weight	<ul style="list-style-type: none"> 103 oz.* 	<ul style="list-style-type: none"> 105 oz.* 	<ul style="list-style-type: none"> 100 oz.*
Backing	<ul style="list-style-type: none"> Three-layer premium backing including BioCel™ polyurethane and geotex non-woven fabric 	<ul style="list-style-type: none"> Three-layer premium backing including BioCel™ polyurethane and geotex non-woven fabric 	<ul style="list-style-type: none"> Three-layer premium backing including BioCel™ polyurethane and geotex non-woven fabric
Seaming	<ul style="list-style-type: none"> Micromechanical bonding 	<ul style="list-style-type: none"> Micromechanical bonding 	<ul style="list-style-type: none"> Micromechanical bonding
Infill	<ul style="list-style-type: none"> 4 lbs. +/- of rounded sand psf. (depending on application) 	<ul style="list-style-type: none"> 4 lbs. +/- of rounded sand psf. (depending on application) 	<ul style="list-style-type: none"> 3 lbs. +/- of rounded sand psf. (depending on application)

*Product heights shown may have a variance of 1/8" and product weights shown may have a variance of 2%.

Grass without limits.®



Fusion Flex has a unique thinner blade and an exclusive summer blend color combination that makes it ideal for residential applications where a more aesthetic appearance is desired.



Fusion Elite is perfect for projects where low-E windows reflect heat from the sun, such as on rooftops, near glass buildings, and around newer homes and offices.

*same color as Fusion Pro



Fusion Pro is ideal for high traffic areas such as wedding lawns, event centers, storefronts, and other active venues.

ForeverLawn Fusion

Welcome to the future of synthetic grass.

The latest revolutionary breakthrough from ForeverLawn® is Fusion™ synthetic grass, featuring our exclusive Legacy Fiber™ yarn. Years of research and development have resulted in a product that is superior in heat resistance, durability, and appearance.

Exceptional stability against reflected heat.

While typical synthetic grass products will show deformation in high-temperature situations, the ForeverLawn Legacy Fiber yarn will not fail where others do. This makes Fusion the ideal solution for rooftops and around glass buildings where heat damage is a concern.

Superior performance in high-traffic environments.

With its proprietary nylon blades, this synthetic grass provides exceptional wear performance compared to typical polyethylene products. Fusion's stronger, more resilient Legacy Fiber yarn stands up to consistent use in areas with extreme high traffic which makes it the preferred option for commercial projects.

The most natural appearance on the market.

In addition to high performance, Fusion provides an increased realism that surpasses typical products. Its low-sheen appearance, combined with its multicolored blade structure and thatch zone, makes Fusion an excellent option that looks natural and beautifies any application.



Consult with your local ForeverLawn dealer to incorporate ForeverLawn Fusion into your project today, and experience the true meaning of Grass without limits®.



ForeverLawn Landscape System

Installed over aggregate with perimeter boards

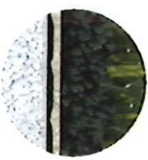


Staples



ForeverLawn[®]
synthetic grass

Premium
three-layer backing



1" long, 1/4" crown galvanized
staples spaced every 3"

Infill

As required or
recommended

Proprietary backing system
with micromechanical
seaming technology

1" long, 1/4" crown
galvanized staples
spaced every 3"

Staples

Natural grass

Ground-contact
treated lumber or

plastic nailer board
Typically 2x4 secured with rebar

Existing sub-base

12"-18" rebar through
center drilled holes

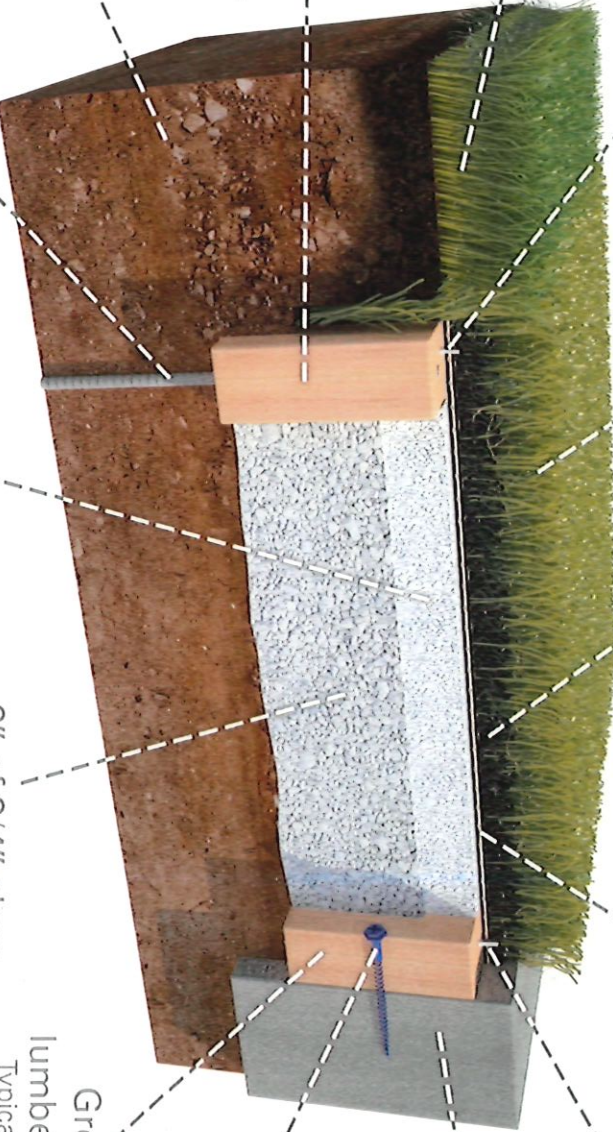
1" of 3/8" clean angular
stone, compacted

3" of 3/4" clean
angular stone,
compacted

Adjacent surface
such as sidewalk,
patio, deck, wall,
or other

Screw or wedge
concrete anchor

Ground-contact treated
lumber or plastic nailer board
Typically 2x2 or 2x4 mounted 3/4"-1"
below adjacent surface and
secured with concrete fasteners



ForeverLawn[®]

330.499.8873 • foreverlawn.com
8007 Beeson St., Louisville, OH 44641



microsite.caddetails.com/1148

By	G. Swartz	08/23
Scale	Not to scale	
Drawing No.	M1474	

OWNER

MARTIN MARKETING
1128 PARKWAY AVENUE
ELKHART INDIANA
P: (574) 536-4090

DEVELOPER

DJ CONSTRUCTION
3414 ELKHART ROAD
GOSHEN INDIANA
P: (574) 533-1645

SURVEYOR/ENGINEER

JONES, PETRIE, RAFINSKI, CORP.
325 S. LAFAYETTE BLVD.
SOUTH BEND, IN 46801
(574) 232-4388

UTILITIES

- ELECTRIC** AMERICAN ELECTRIC POWER
3340 OLD US 20E
ELKHART, IN 46516
DON SANTERRE
1-574-296-5052
- GAS** NIPSCO GAS (SOUTH BEND)
1039 E PENNSYLVANIA AVE.
P.O. BOX 1355
SOUTH BEND, IN 46601
RICH WALGREN
1-574-284-2105
- WATER** ELKHART WATER WORKS
1201 S. NAPPANEE ST.
ELKHART, IN 46516
TORY IRWIN
1-574-293-2572
- SEWER** ELKHART WASTEWATER TREATMENT & UTILITY
1201 S. NAPPANEE ST.
ELKHART, IN 46516
TORY IRWIN
1-574-293-2572
- CABLE** COMCAST NORTH
1920 MCKINLEY AVENUE
MISHAWAKA, IN 46545
JAY COSTELLO
1-847-789-1039 EXT 71029
- FIBER OPTIC** INTERCARRIER NETWORKS, LLC
123 NIEMAN ST.
SUNMAN, IN 47041
DUSTIN NOBBE
1-812-623-4332
- FIBER OPTIC** SURF INTERNET (FORMERLY COMMERCIAL BROADBAND SOLUTIONS)
1705 STATE ST
LAPORTE, IN 46352
TANNER BRADLEY
1-806-576-9768
- UTILITY LOCATE** INDIANA 811
1-800-382-5544

IMPORTANT UNDERGROUND UTILITY NOTES

EXISTING UNDERGROUND UTILITIES SHOWN IN THESE PLANS ARE BASED ON EVIDENCE OF ABOVE GROUND FEATURES, ON LOCATIONS MARKED IN THE FIELD BY OTHERS, OR ON RECORD INFORMATION PROVIDED BY UTILITY COMPANIES. PIPE INVERT ELEVATIONS WERE MEASURED WITHOUT ENTERING CONFINED SPACES. NO EXCAVATION SHOULD OCCUR WITHOUT NOTIFICATION OF APPROPRIATE AGENCIES AND UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF PIPE INVERT ELEVATIONS AND UTILITY LOCATIONS, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE DISCOVERED.

GENERAL NOTES

FOR PROTECTION OF UNDERGROUND UTILITIES, CONTRACTOR SHALL CALL 1-800-382-5544 A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL INDIANA 811 PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE INDIANA 811 ALERT SYSTEM.

IF ANY ERRORS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL GOVERNMENT, INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AND THE INDIANA DEPARTMENT OF TRANSPORTATION.

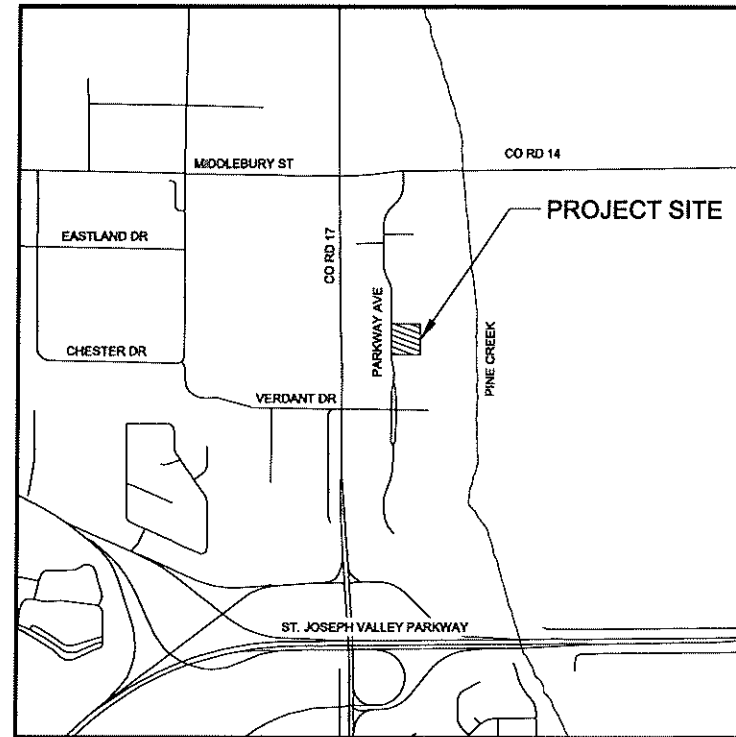
THE CONTRACTORS SHALL MAKE WHATEVER SOIL BORINGS NECESSARY TO FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE CONDITIONS WHICH MAY AFFECT THE COST OF THE WORK. FAILURE TO MAKE SUCH BORINGS OR ANY BORINGS MADE WHICH DO NOT PROVIDE A COMPLETE UNDERSTANDING OF THE CONDITIONS ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR CARRYING OUT ALL THE WORK TO COMPLETION AS SHOWN ON THE PLANS, OR AS SPECIFIED, AT THE PRICE SPECIFIED TO BE PAID FOR THE WORK. WHERE THE RESULTS OF ANY TEST BORINGS ARE SHOWN ON THE PLANS, THE INFORMATION IS NOT GUARANTEED AND THE CONTRACTOR MUST SATISFY HIMSELF AS TO THE CHARACTER OF MATERIALS THAT MAY BE ENCOUNTERED.

THE CONTRACTOR SHALL FOLLOW THE OSHA REGULATIONS 29 C.F.R. 1926 SUBPART P, FOR TRENCH SAFETY SYSTEMS. THE COST FOR TRENCH SAFETY SYSTEMS SHALL BE MERGED INTO THE PAY ITEM OF THE PRINCIPAL WORK WITH WHICH THE SAFETY SYSTEMS ARE ASSOCIATED. THE CONTRACTOR SHALL OTHERWISE BE RESPONSIBLE FOR SAFETY IN REGARD TO THE PROJECT'S CONSTRUCTION.

MARTIN MARKETING FACILITY

PROJECT DESCRIPTION

PLANS FOR THE CONSTRUCTION OF A NEW FACILITY AND PARKING INFRASTRUCTURE FOR MARTIN MARKETING EAST OF PARKWAY AVE IN ELKHART INDIANA.



LOCATION MAP

PART OF ELKHART, INDIANA
SECTION 07, TOWNSHIP 37 NORTH, RANGE 7 EAST,
JEFFERSON TOWNSHIP, ELKHART COUNTY

THE PROPOSED CONSTRUCTION WILL BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN

INDEX OF PLANS

- G101 - COVER
- G102 - GENERAL NOTES
- C100 - TOPOGRAPHIC SURVEY
- C102 - SITE DEMOLITION PLAN
- C201 - SITE DIMENSIONAL PLAN
- C301 - SITE GRADING PLAN
- C401 - SITE UTILITY PLAN
- C501 - SITE EROSION CONTROL PLAN
- C502 - SITE EROSION CONTROL DETAILS
- C601 - SITE LANDSCAPE PLAN
- C602 - LANDSCAPE NOTES & DETAILS
- C701 - SITE LIGHTING PLAN
- SD101 - SITE DETAILS I
- SD102 - SITE DETAILS II
- SD103 - SITE DETAILS III

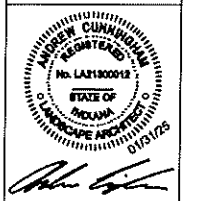


REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**

Fort Wayne, IN
P: 260.422.2622

South Bend, IN
P: 574.232.4388

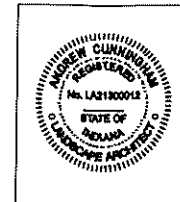


MARTIN MARKETING FACILITY
3414 ELKHART ROAD
GOSHEN INDIANA

DJ CONSTRUCTION
COVER

DESIGNED BY: JTB
REVIEWED BY: AC
DRAWN BY: JTB
REVIEWED BY: CE

DATE: 10/04/2024
JOB NUMBER: 2024-0044
SCALE:
G101



Andrew Cunningham
ANDREW CUNNINGHAM LA 21300012
COVERING DESIGN
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT STATE OF INDIANA

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Topographic Survey Notes

This topographic survey was performed in February, 2024 and is for their use only.

This is not a boundary survey. Right-of-way lines and property lines are based on a plat called "Parkway at 17 DPUD - Phase IV" performed by JPR Corp. in August 18, 2015.

Horizontal datum is based upon the Indiana State Plane Coordinate System, East Zone, GPS derived utilizing the INCORS Network.

Basis of Elevation is GPS derived utilizing the INCORS Network, NAVD88 datum.

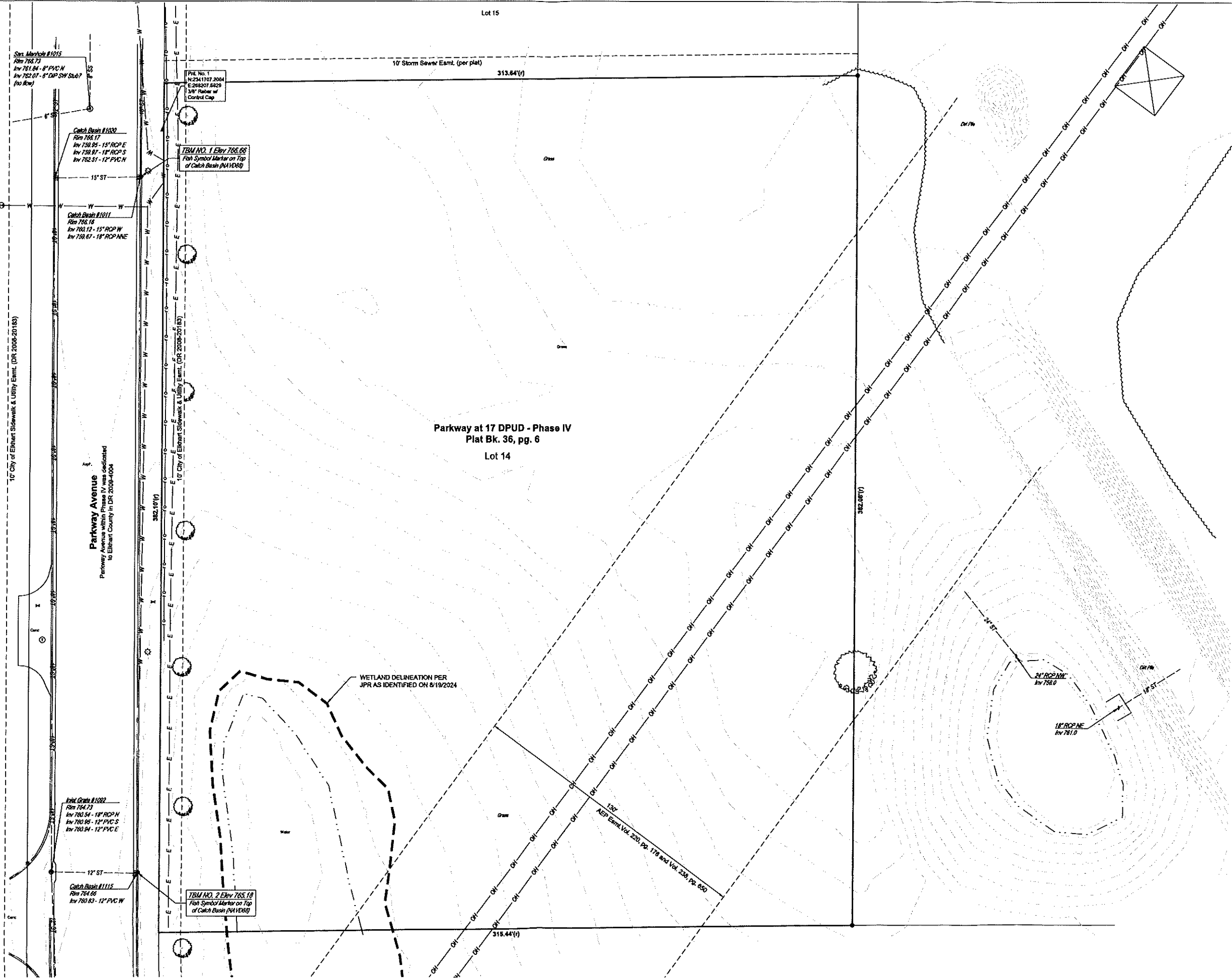
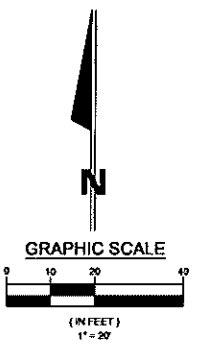
Utility Notes

Locations of existing underground utilities shown on this drawing are based on evidence of above ground features, locations marked in the field by others or based on record information provided by the utility company. No excavation should occur without notification of appropriate agencies and utility companies.

Utility locates were requested on February 8, 2024 utilizing the "Call Before You Dig" 811, utility locating services. The following ticket number(s) were assigned for this project: 2402061994, 2402062032.

Legend

- Existing Monument (Origin Unknown Unless Otherwise Noted)
- ▲ Control Point
- (f) Record Dimension
- Sanitary Manhole
- Catch Basin
- ⊙ Inlet Grate
- ⊕ Light Pole
- ⊗ Telephone Manhole
- ⊖ Post Indicator Valve
- Tree (6'-12')
- SS Sanitary Line
- ST Storm Line
- OH Overhead Line
- E Electric Line
- FO Fiber Optic Line
- W Water Line
- Edge of Water
- ~~~~~ Tree Line



REV	DESCRIPTION	BY	DATE

JPR
 JONES
 PETRIE
 RAFINSKI
 Fort Wayne, IN
 P. 260.422.2022
 South Bend, IN
 P. 574.232.4688

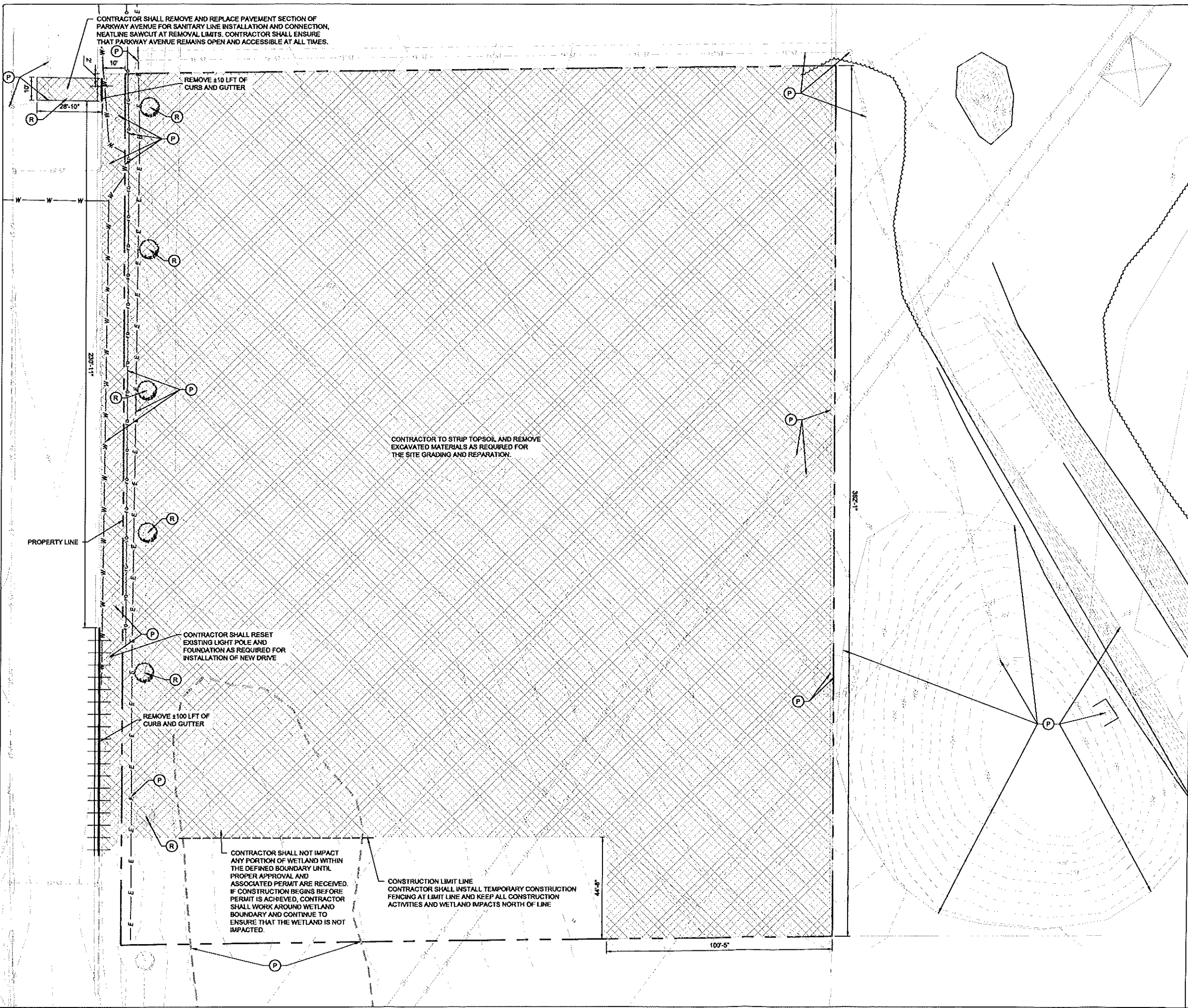
MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN INDIANA

DJ CONSTRUCTION
 TOPOGRAPHIC SURVEY

DESIGNED BY: JB
 REVIEWED BY: AC
 DRAWN BY: VB
 REVIEWED BY: CE

DATE: 08/23/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE
 C100

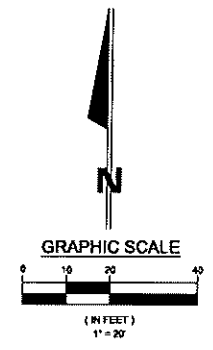
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LEGEND

(P) PROTECT
 (R) REMOVE
 [Hatched Box] REMOVE EXISTING FOLIAGE AND TOPSOIL. CONTRACTOR TO REMOVE CURB AND GUTTER TO FULL DEPTH WHERE INDICATED, NEATLINE SAW CUT ROADWAY FOR UTILITY CONNECTIONS AT REMOVAL LIMITS SPECIFIED.

- NOTES:**
- CONTRACTOR SHALL NOT DISTURB EXISTING ASPHALT PAVEMENT ON PARKWAY AVENUE UNLESS SPECIFIED. CURB TO BE REMOVED WITH CARE SO AS TO NOT DAMAGE EXISTING ROADWAY.
 - CONTRACTOR SHALL NOT INTERRUPT ANY UTILITY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR EXPLORATORY TRENCHING TO VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES AND TO INSTALL NEW UTILITIES AS REQUIRED.
 - COORDINATE ALL DEMOLITION WORK WITH OWNER AND ADJACENT PROPERTY OWNERS.
 - APPROXIMATE TOTAL AREA OF DISTURBANCE = 114,110 SQ. FT. OR 2.62 ACRES



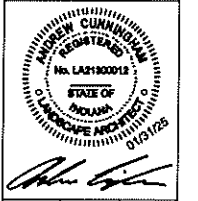
REV	DESCRIPTION	BY	DATE

**JONES
 PETRIE
 RAFINSKI**

Fort Wayne, IN
 P: 266-422-2522

JPR

South Bend, IN
 P: 574-232-4388



MARTIN MARKETING FACILITY
 3414 ELKHART ROAD
 GOSHEN INDIANA

DJ CONSTRUCTION
 SITE DEMOLITION PLAN

DESIGNED BY: JTB
 REVIEWED BY: AC

DRAWN BY: JTB
 REVIEWED BY: CE

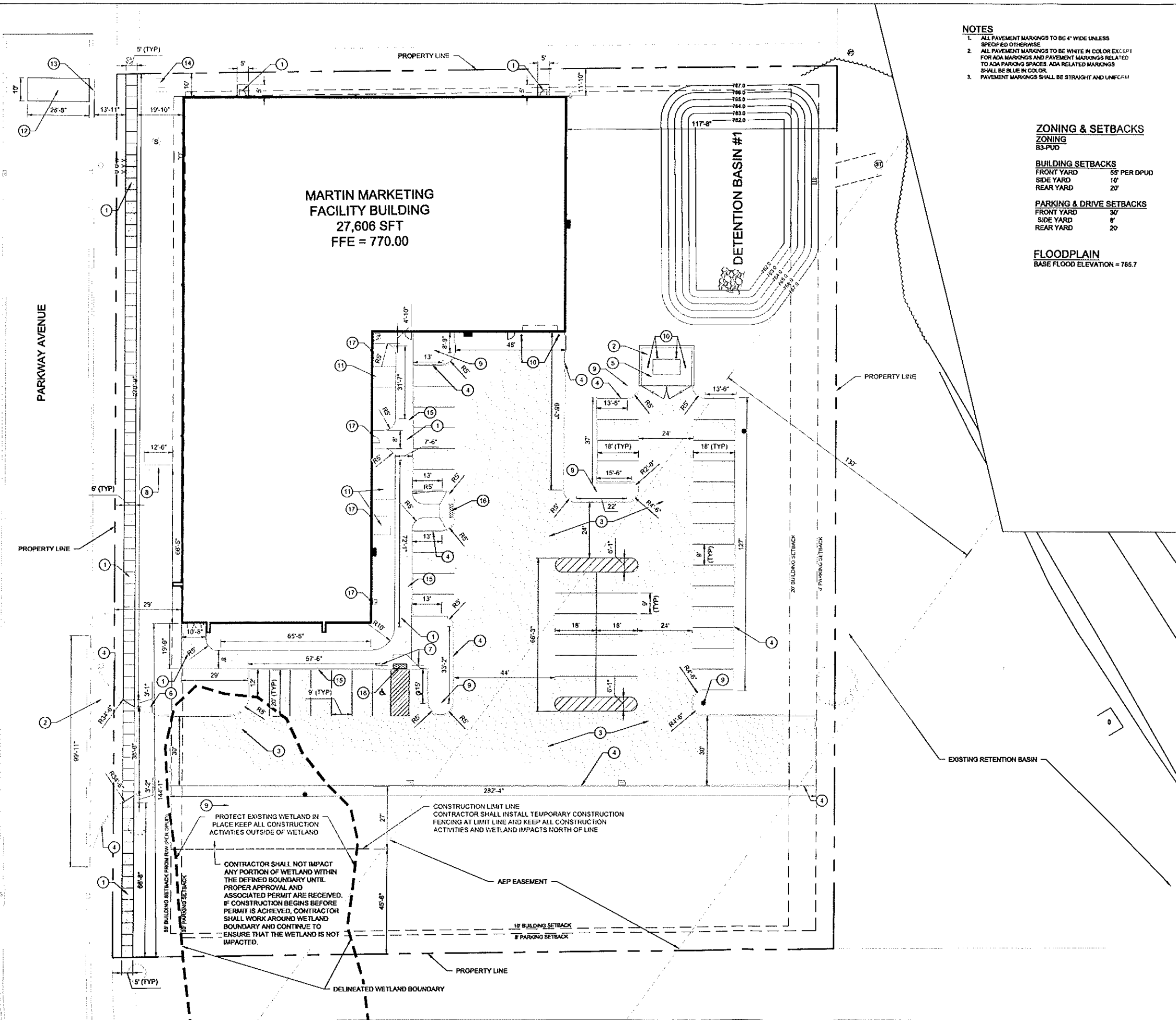
DATE: 10/04/2024

JOB NUMBER: 2024-0044

HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C102

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- NOTES**
- ALL PAVEMENT MARKINGS TO BE 4" WIDE UNLESS SPECIFIED OTHERWISE
 - ALL PAVEMENT MARKINGS TO BE WHITE IN COLOR EXCEPT FOR ADA PARKING SPACES. ADA RELATED MARKINGS SHALL BE BLUE IN COLOR
 - PAVEMENT MARKINGS SHALL BE STRAIGHT AND UNIFORM

ZONING & SETBACKS
 ZONING: R3-PUD

BUILDING SETBACKS
 FRONT YARD: 5' PER DPUD
 SIDE YARD: 10'
 REAR YARD: 20'

PARKING & DRIVE SETBACKS
 FRONT YARD: 30'
 SIDE YARD: 8'
 REAR YARD: 20'

FLOODPLAIN
 BASE FLOOD ELEVATION = 765.7

DETAILS LEGEND:

- 1 4" CONCRETE
- 2 6" HEAVY DUTY CONCRETE
- 3 ASPHALT PAVEMENT
- 4 STANDARD CONCRETE CURB
- 5 MASONRY TRASH ENCLOSURE
- 6 STOP SIGN
- 7 VAN ACCESSIBLE ADA PARKING SIGN
- 8 MONUMENT SIGN
- 9 LIGHT POLE
- 10 PIPE BOLLARD
- 11 MECHANICAL UNITS
- 12 RIGHT-OF-WAY ASPHALT RESTORATION
- 13 STANDARD CONCRETE CURB & GUTTER
- 14 AEP TRANSFORMER AND PAD
- 15 INTEGRAL CONCRETE CURB
- 16 CURB RAMP
- 17 WALL PACK LIGHT

DETAIL 1 / SD101
DETAIL 2 / SD101
DETAIL 3 / SD101
DETAIL 4 / SD101
DETAIL 12 / SD101
DETAIL 13 / SD101
DETAIL 11 / SD102
BY OWNER
REFER TO LIGHTING PLAN
DETAIL 9 / SD101
REFER TO MEP PLANS
DETAIL 8 / SD101
DETAIL 10 / SD101
DETAIL 11 / SD101
DETAIL 6 / SD101
DETAIL 7 / SD101
BY OWNER

TABULATED SITE DATA

- ACREAGE OF SITE: (120,175 SF) 2.78 AC
- SUMMARY OF PARKING:
 - A. NUMBER OF EMPLOYEES: 22 - 22 SPACES REQUIRED
 - B. 1 SPACE PER 300 SF OF PUBLIC OFFICE SPACE, 8,255 SF - 21 SPACES
 - C. TOTAL SPACES REQUIRED - 43 SPACES
 - D. TOTAL PROPOSED PARKING - 48 SPACES
 - E. NUMBER OF A.D.A SPACES - 2 SPACES
- PROPOSED LAND COVERAGE:

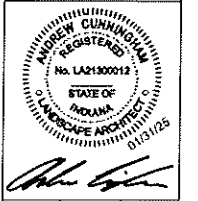
	SQUARE FOOTAGE	% OF SITE
A. PARKING AND DRIVES	32,000	26.59%
B. OPEN SPACE	80,491	66.34%
C. BUILDINGS	27,606	22.37%
TOTAL	120,175	100.00%
- SURFACE RUN-OFF AND DRAINAGE TO BE COLLECTED ON-SITE AND DISCHARGED INTO RETENTION BASIN
- PARKING SPACES ARE TO MEET THE CITY OF ELKHART STANDARDS
- PROPOSED ACCESS DRIVE WILL UTILIZE NEW CURB CUT OFF OF PARKWAY AVENUE

REV	DESCRIPTION	DATE

**JONES
 PETRIE
 RAFINSKI**

Fort Wayne, IN
 P: 260.422.2522

South Bend, IN
 P: 574.432.4388



MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 SITE DIMENSIONAL PLAN

3414 ELKHART ROAD
 GOSHEN INDIANA

DESIGNED BY: JTB
 REVIEWED BY: AC

DRAWN BY: JTB
 REVIEWED BY: CE

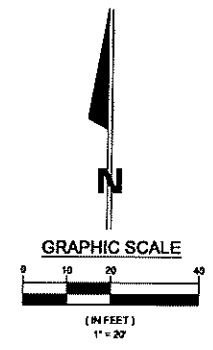
DATE: 10/04/2024

JOB NUMBER: 2024-0044

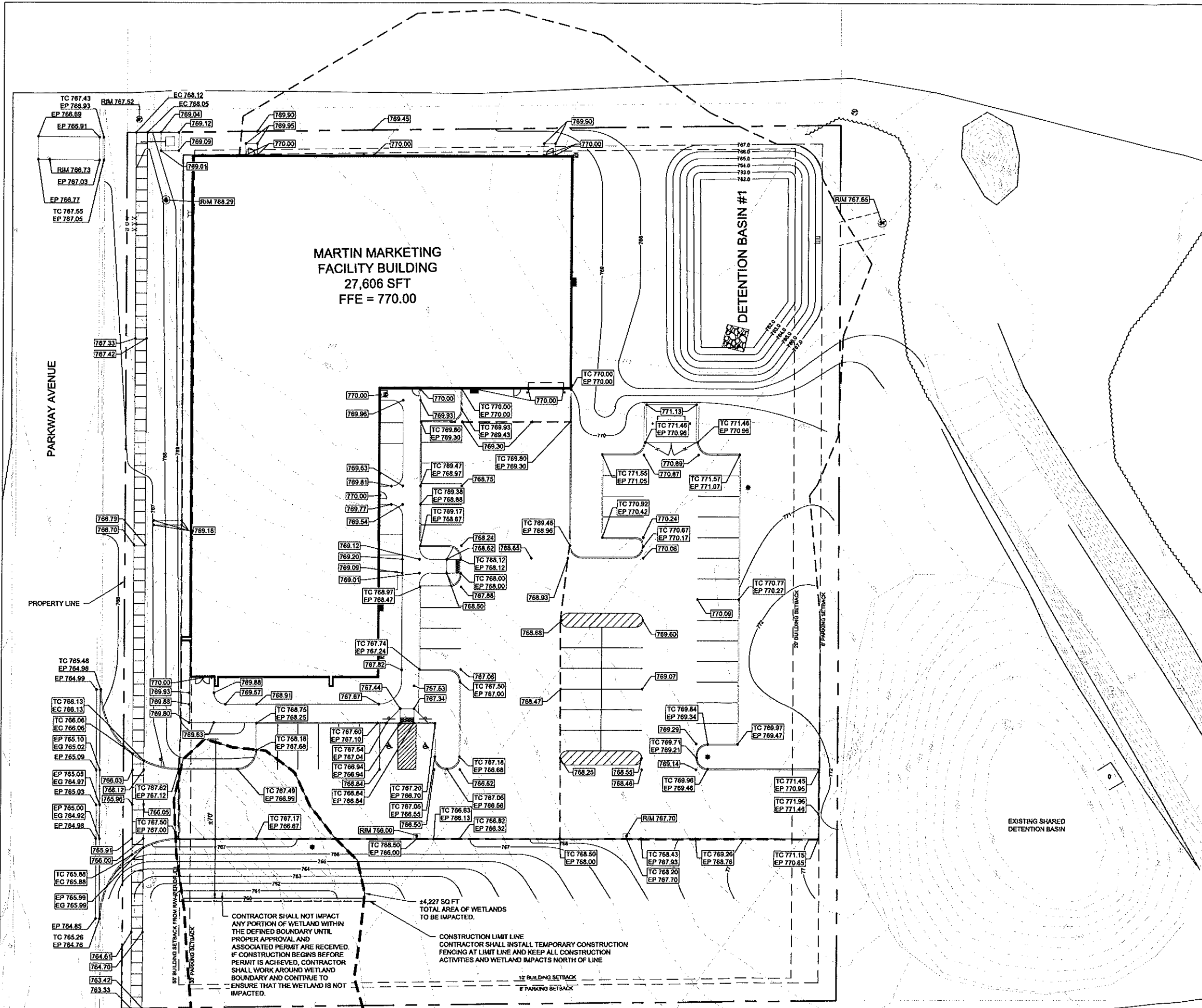
HORIZ. SCALE: 1" = 20'

VERTICAL SCALE: NONE

C201



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 Saved By: Jackson Plattner: 2025-01-30 11:52 AM



LEGEND

XXXXXX	EXISTING GRADE
XXXXXX	PROPOSED GRADE
□	PROPOSED CATCH BASIN/STORM INLET
○	PROPOSED CATCH BASIN/STORM INLET
○	PROPOSED STORM MANHOLE
---	PROPOSED WATERSHED BOUNDARY
TC	PROPOSED TOP OF CURB
EP	PROPOSED EDGE OF PAVEMENT
EG	PROPOSED EDGE OF GUTTER
EC	PROPOSED EDGE OF CONCRETE

PROPOSED DETENTION BASIN #1

Volume (V) Calculations

$$V = (E1 - E2) * ((A1 + SQRT(A1 * A2) + A2)/3)$$

Top of Basin (E1)	768.0	ft
Bottom of Basin (E2)	762.0	ft
Surface Area Top (A1)	5,702	SFT
Surface Area Bottom (A2)	2,680	SFT
Total Volume (V)	16,387	CFT

STORMWATER RUNOFF CALCULATION - "RATIONAL METHOD"

Runoff (Q) Calculations

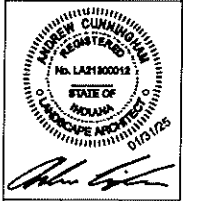
$$Q = C1 * I * A1 + C2 * I * A2$$

Runoff Coefficient 1 (C1)	0.9	
Runoff Coefficient 2 (C2)	0.3	
Rainfall Intensity (I)	0.25	in/24-hours
Impervious Area (A1)	60,098	SFT
Perious Area (A2)	34,669	SFT
Runoff to be Retained (Q)	16,122	CFT

REV	DESCRIPTION	BY	DATE

**JONES
 PETRIE
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Fort Wayne, IN
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 P: 260.422.2522



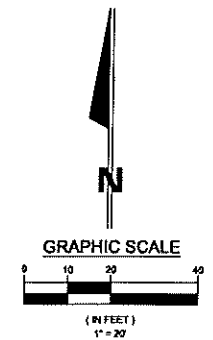
MARTIN MARKETING FACILITY
DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

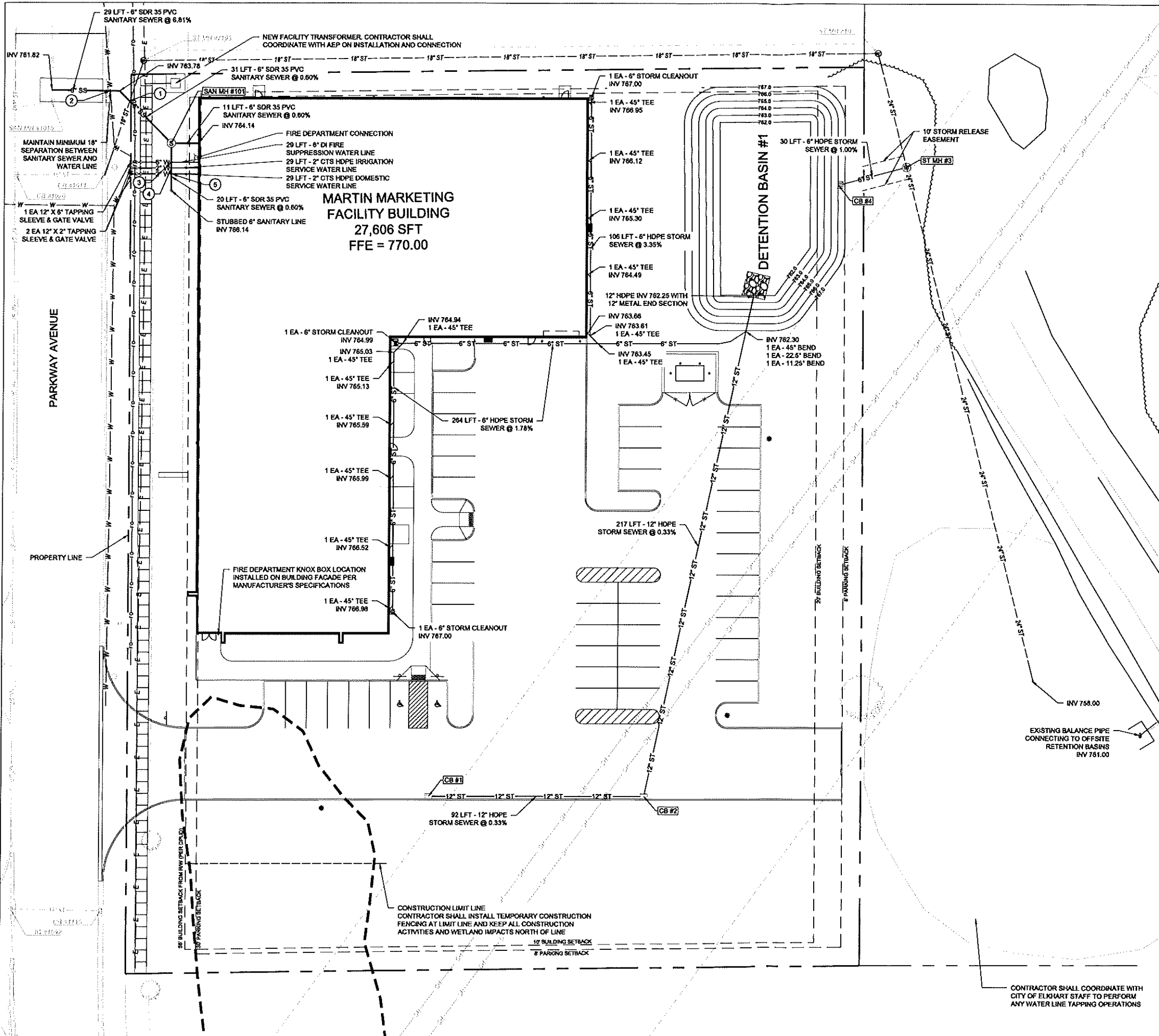
SITE GRADING PLAN

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 10/04/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C301





LEGEND

⊙	PROPOSED SANITARY MANHOLE
⊚	PROPOSED STORM MANHOLE
⊛	PROPOSED CATCH BASIN
—SS—	PROPOSED IRON GRATE
—ST—	PROPOSED SANITARY LINE
—W—	PROPOSED STORM LINE
—G—	PROPOSED WATER LINE
—E—	PROPOSED GAS LINE
—	PROPOSED ELECTRIC LINE

NEW STORM STRUCTURE INFORMATION

CB #1 - 4'Ø CATCH BASIN RM 766.00 INV 763.38 - 12" HDPE E SUMP 761.38	CB #2 - 4'Ø CATCH BASIN RM 767.70 INV 762.97 - 12" HDPE NE INV 763.07 - 12" HDPE W SUMP 760.97
ST MH #3 - 4'Ø DOGHOUSE MANHOLE RM 767.65 INV 764.65 - 6" HDPE SW SUMP 761.38	CB #4 - 4'Ø CATCH BASIN RM 768.25 INV 762.00 - 6" HDPE NE SUMP 760.00

EXISTING STORM STRUCTURE INFORMATION

CB #111 - EXISTING CATCH BASIN RM 765.25 INV 760.43 - 12" HDPE W	CB #112 - EXISTING IRON GRATE RM 764.25 INV 760.34 - 12" HDPE E
CB #113 - EXISTING CATCH BASIN RM 765.12 INV 760.14 - 12" HDPE W	CB #114 - EXISTING CATCH BASIN RM 765.19 INV 760.14 - 12" HDPE W
ST MH #123 - EXISTING STORM MANHOLE RM 765.12 INV 763.14 - 12" HDPE E INV 763.14 - 12" HDPE W	ST MH #124 - EXISTING STORM MANHOLE RM 765.19 INV 763.14 - 12" HDPE W INV 763.14 - 12" HDPE W

PROPOSED SANITARY STRUCTURE INFORMATION

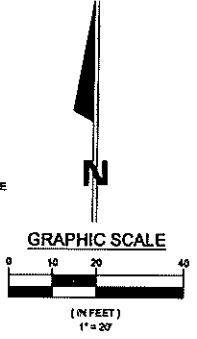
SAN MH #1 - 4'Ø SANITARY MANHOLE RM 768.25 INV 763.97 - 6" SDR 35 PVC NW INV 764.07 - 6" SDR 35 PVC E INV 764.07 - 6" SDR 35 PVC S
--

EXISTING SANITARY STRUCTURE INFORMATION

SAN MH #103 - EXISTING SANITARY MANHOLE RM 768.12 INV 763.14 - 6" SDR 35 PVC W INV 763.14 - 6" SDR 35 PVC W
--

UTILITY CROSSING NOTES:

- | | |
|--|--|
| 1. SANITARY SEWER
TOP OF 6" PIPE - 764.32
6" PIPE INV - 763.82 | 2. SANITARY SEWER
TOP OF 8" PIPE - 764.01
6" PIPE INV - 763.51 |
| STORM SEWER
TOP OF 18" PIPE - 761.40
18" PIPE INV - 760.90 | WATER MAIN
TOP OF 12" PIPE - 672.01
12" PIPE INV - 671.01 |
| 3. SANITARY SEWER
TOP OF 6" PIPE - 764.82
6" PIPE INV - 764.12 | 4. SANITARY SEWER
TOP OF 6" PIPE - 764.63
6" PIPE INV - 764.13 |
| FIRE SUPPRESSION WATER LINE
TOP OF 4" PIPE - 762.78
6" PIPE INV - 762.28 | IRRIGATION SERVICE WATER LINE
TOP OF 2" PIPE - 762.42
2" PIPE INV - 762.25 |
| 5. SANITARY SEWER
TOP OF 6" PIPE - 764.65
6" PIPE INV - 764.15 | |
| DOMESTIC WATER LINE
TOP OF 2" PIPE - 762.47
2" PIPE INV - 762.24 | |



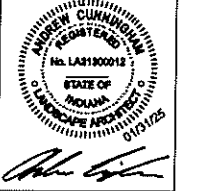
NOTES:

- CONTRACTOR SHALL MAINTAIN 18" MIN VERTICAL AND 10' MIN HORIZONTAL SEPARATION BETWEEN WATER MAIN AND STORM AND/OR SANITARY SEWER.
- WHERE EXISTING AND/OR PROPOSED GRAVITY SANITARY SEWERS ARE TO BE WITHIN 48" OF FINISHED GRADE, OR EXISTING AND/OR PROPOSED WATER MAIN ARE TO BE CONSTRUCTED WITHIN 60" OF FINISHED GRADE, SEWERS SHALL BE INSTALLED WITH A MINIMUM OF 4" BLUEBOARD INSULATION RUNNING ALONG THE LENGTH OF THE PIPE.
- PROTECT ALL EXISTING UTILITIES UNLESS SPECIFICALLY NOTED FOR REMOVAL AND/OR ABANDONMENT ON DEMOLITION PLANS.
- ALL PROPOSED UTILITY CONSTRUCTION, INCLUDING PRIVATE STORM SEWER INSTALLATIONS, SHALL BE IN CONFORMANCE WITH CURRENT CITY OF ELKHART CONSTRUCTION STANDARDS.
- PRIOR TO INSTALLATION OF PROPOSED STORM AND SANITARY SEWER CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT ELEVATION OF EXISTING SEWER AT PROPOSED CONNECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCIES REQUIRING REDESIGN.
- ALL HDPE WATER SERVICE PIPE SHALL BE INSTALLED WITH TRACER WIRE.
- ALL WATER LINE TAPPING SHALL BE PERFORMED BY THE CITY OF ELKHART STAFF.

REV	DESCRIPTION	BY	DATE

**JONES
PETRIE
RAFINSKI**

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MARTIN MARKETING FACILITY
DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

DESIGNED BY: JTB
 REVIEWED BY: AC

DRAWN BY: JTB
 REVIEWED BY: CE

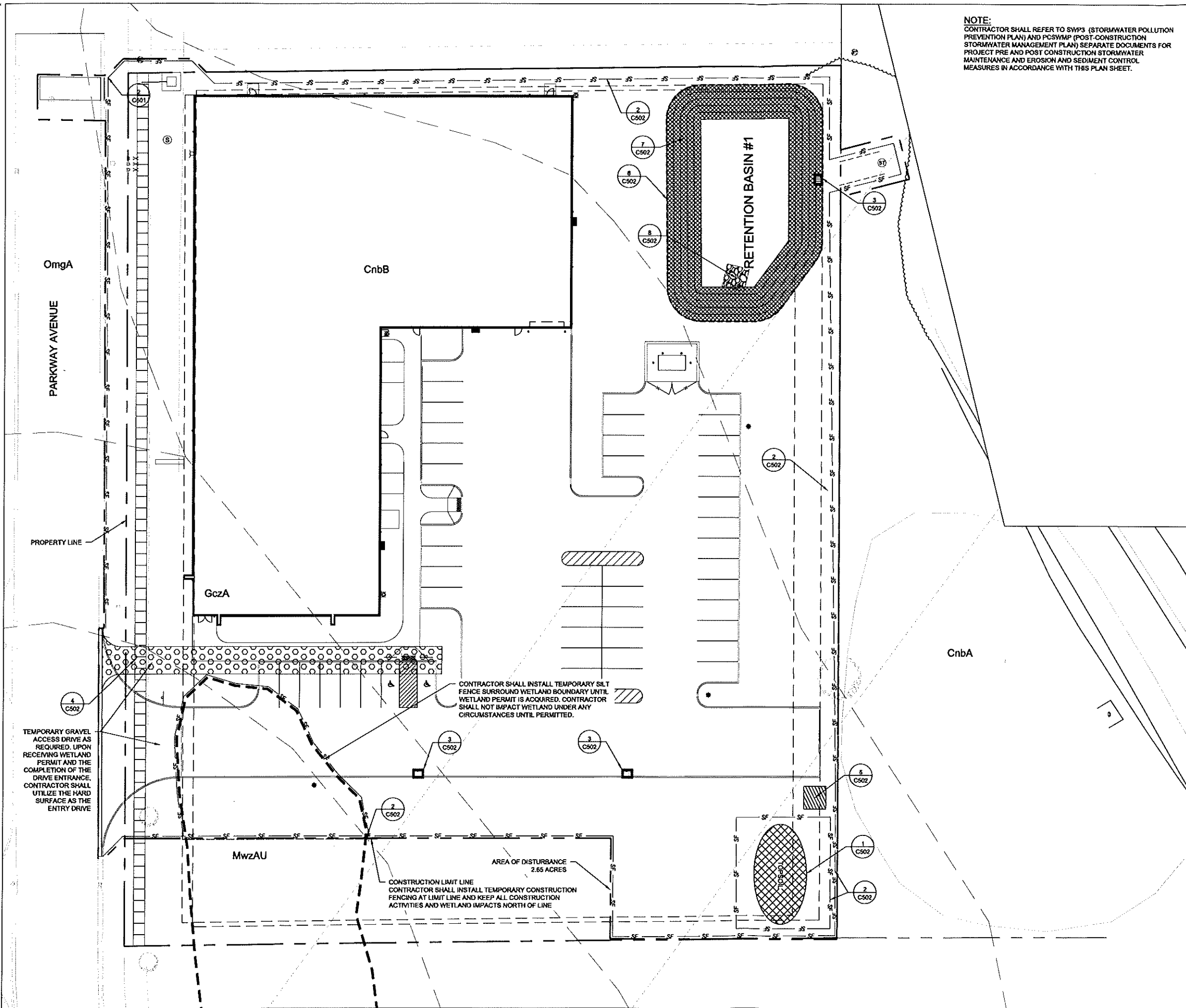
DATE: 10/04/2024

JOB NUMBER: 2024-0044

HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C401

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NOTE:
 CONTRACTOR SHALL REFER TO SWP3 (STORMWATER POLLUTION PREVENTION PLAN) AND PCSWMP (POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN) SEPARATE DOCUMENTS FOR PROJECT PRE AND POST CONSTRUCTION STORMWATER MAINTENANCE AND EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THIS PLAN SHEET.

- EROSION CONTROL LEGEND**
- SF SILT FENCE, PROPERLY ANCHORED
 - [Symbol] TEMPORARY EROSION CONTROL INLET PROTECTION
 - [Symbol] OUTLET PROTECTION
 - [Symbol] EROSION CONTROL BLANKET
 - [Symbol] COIR LOG/SILT WORM
- SOILS LEGEND**
- CnbA COLOMA SAND, 0 TO 2% SLOPES
 - CnbB COLOMA SAND, 2 TO 5% SLOPES
 - GczA GILFORD SANDY LOAM, 0 TO 2% SLOPES, GRAVELLY SUBSOIL
 - MwzAU MUSKEGO MUCK, UNDRAINED, 0 TO 1% SLOPES
 - OmgA OSOLO LOAMY SAND, 0 TO 1% SLOPES

HAZ-MAT/CHEMICAL SPILL NOTIFICATION
 State Fire Marshals Office: 1-800-689-7362

IDEM Environmental Emergencies:
 1-888-233-7745

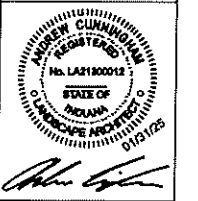
PETROLEUM PRODUCT SPILLS IN THE AMOUNT OF 55 GALLONS OR MORE MUST BE REPORTED TO IDEM REGARDLESS OF CLEANUP METHODS.

HYDROLOGIC UNIT CODE:
 40500012002

LATITUDE / LONGITUDE:
 41°40'34.7"N / 85°53'7.8"W

REV	DESCRIPTION	BY	DATE

JONES PETRIE RAFINSKI
 South Bend, IN Fort Wayne, IN
 P: 574.232.4388 P: 260.422.2622



MARTIN MARKETING FACILITY	GOSHEN INDIANA
DJ CONSTRUCTION	3414 ELKHART ROAD
SITE EROSION CONTROL PLAN	
DESIGNED BY: JTB	REVIEWED BY: AC
DRAWN BY: JTB	REVIEWED BY: CE
DATE:	10/04/2024
JOB NUMBER:	2024-0044
HORIZ. SCALE:	1" = 20'
VERTICAL SCALE:	NONE
C501	

EROSION CONTROL NOTES

- THE CONTRACTOR IS ADVISED THAT THE WORK MUST BE DONE IN COMPLIANCE WITH THE FOLLOWING SPECIFICATIONS, SOME OF WHICH RESULT FROM THE REQUIREMENTS OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S STORM WATER PERMITS SECTION. AN APPROVED PERMIT FROM THIS AGENCY IS BASED ON THE CONTRACTOR'S COMPLIANCE WITH THE SPECIFICATIONS AND THE ACTUAL PERMIT DOCUMENTS.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER STORM EVENTS OF 1/2" OR MORE PRECIPITATION OR AFTER HEAVY USE AND REPAIR IMMEDIATELY.
 - THE CONTRACTOR SHALL KEEP A LOG OF THE CONTRACTOR'S INSPECTION OF TEMPORARY EROSION CONTROL MEASURES. THE LOG SHALL BE AVAILABLE AT THE JOB SITE FIELD OFFICE DURING ALL WORK DAY HOURS FOR REVIEW BY VISITING IDEM INSPECTORS, SWCD INSPECTORS, CITY INSPECTORS AND THE ENGINEER. THE LOG SHALL BE BRIEF, BUT SHALL INCLUDE THE NAME OF CONTRACTOR'S INSPECTOR, DATE OF INSPECTION, MAN HOURS OF CONTRACTOR'S INSPECTION TIME AND COMMENTS ON ANY AND ALL FAILED OR FAILING EROSION CONTROL FEATURES ALONG WITH THE MEASURES TAKEN FOR PROMPT CORRECTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES UNTIL COMPLETION OF PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH UTILITIES WITH RESPECT TO AVOIDING CONFLICTS AND DISTURBANCE OF SERVICES.
 - THE CONTRACTOR SHALL HAVE ON FILE, AT THE SITE, THE "INDIANA STORM WATER QUALITY MANUAL."
 - THE CONTRACTOR SHALL CLEAN OUT ALL CATCH BASINS AND STORM SEWER UPON COMPLETION OF THE PROJECT.
 - THE CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL AND REMOVE EXCESS FROM SITE TO A PROPERLY PERMITTED SITE AS APPROVED BY THE OWNER UPON SUBSTANTIAL COMPLETION OF THE WORK.
 - ANY TOPSOIL STOCKPILES ARE TO BE PROTECTED FROM EROSION. TEMPORARY TOPSOIL STOCKPILES WILL BE PERMITTED IN AREAS APPROVED BY THE ENGINEER.
 - THE CONTRACTOR SHALL CONTROL DUST ON THE PROJECT SITE WHEN NECESSARY USING METHODS WHICH COMPLY WITH THE "INDIANA STORM WATER QUALITY MANUAL."
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL AND CONTAINING OF LIQUID OR SOLUBLE CONSTRUCTION MATERIALS FOR THE PROTECTION OF THE GROUNDWATER RESOURCE. ANY ACCIDENTAL SPILLAGE SHALL BE CLEANED UP IMMEDIATELY BY ACCEPTABLE MEANS, REGARDLESS OF THE TIME OF DAY OR DAY OF WEEK.
 - THE CONTRACTOR IS ADVISED THAT THE ENVIRONMENTAL REVIEW FOR THIS PROJECT HAS DETERMINED THAT THE PROJECT HAS LIMITED POTENTIAL TO ADVERSELY AFFECT THE WATER BEARING AQUIFER. THE CONTRACTOR'S OPERATIONS SHALL BE SUCH AS TO AVOID THE CREATION OF THE POTENTIAL FOR STORM WATER TO ENTER THE GROUND WATER.
 - STOCKPILES OF EARTH MATERIALS SHALL BE SHAPED AS PER STATE STANDARDS. TOPSOIL MATERIALS SHALL BE STOCKPILED SEPARATELY FROM OTHER SOILS.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS PRIOR TO OTHER SITE OPERATIONS. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND GRADE AND CROWN FOR POSITIVE DRAINAGE. CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
 - THE CONTRACTOR'S BID SHALL INCLUDE THE USE OF TEMPORARY GRAVEL ENTRANCE PADS (INCIDENTAL TO THE CONTRACT) WHERE APPROVED HAULING ROUTES CONNECT TO ROADWAYS. THE WORK SHALL INCLUDE THE EVENTUAL REMOVAL OF SUCH GRAVEL PADS, AND THE INCIDENTAL GRADING, SEEDING, OR SOODING REQUIRED TO RETURN THE PAD AREAS TO ORIGINAL CONDITION. THE TEMPORARY GRAVEL PADS SHALL HAVE A MINIMUM 8" THICK APPLICATION OF 2" TO 3" COARSE AGGREGATE AT A MINIMUM 25' WIDE AND 150' LONG WITH SURFACE RADI AT THE ROADWAY. GEOTEXTILE FOR STABILIZATION BELOW THE GRAVEL PADS SHALL BE INCLUDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY CLEANING UP ANY MATERIALS FROM PUBLIC ROADWAYS, WHICH ARE THE RESULT OF WORK OPERATIONS.
 - THE CONTRACTOR SHALL PERMANENTLY SEED, FERTILIZE, AND MULCH ALL FINAL GRADE AREAS (I.E., LANDSCAPE BERMS, RETENTION SWALES, ETC.) AS EACH IS COMPLETED. SEEDING, FERTILIZING, AND MULCHING SHALL BE IN COMPLIANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL."
 - TEMPORARY GRASS SEEDING SHALL BE PERFORMED ON ALL AREAS SCHEDULED, OR LIKELY, TO REMAIN INACTIVE FOR A PERIOD OF 15 DAYS OR MORE. TEMPORARY SEEDING SHALL BE INCIDENTAL TO THE CONTRACT AND SHALL INCLUDE THE FOLLOWING SPECIES AND RATES:
- | SPECIES | RATE/ACRE OPTIMUM PLANTING |
|------------------|----------------------------|
| WHEAT OR RYE | 150# 9/15 TO 10/30 |
| SPRING OATS | 100# 3/1 TO 4/15 |
| ANNUAL RYE GRASS | 40# 3/1 TO 5/1, 8/1 TO 9/1 |
- A FERTILIZER APPLICATION OF 400#/ACRE OF 12-12-12 ANALYSES MATERIAL SHALL ACCOMPANY THE SEEDING APPLICATION. MULCHING OF TEMPORARY SEEDING SHALL BE AS NEEDED.
- PERMANENT SEEDING SHALL BE AS SPECIFIED ON THE LANDSCAPE PLAN AND NOTES. PERMANENT SEEDING SHOULD BE APPLIED FROM MARCH 1ST THRU MAY 10TH OR FROM AUGUST 10TH THRU SEPTEMBER 30TH. ANY PERMANENT SEEDING BETWEEN JUNE 1ST AND AUGUST 10TH MUST BE IRRIGATED TO ALLOW FOR PROPER SEED GERMINATION.
- SEEDING SHALL BE DONE PROMPTLY AND PROGRESSIVELY AS WORK IS COMPLETED IN ORDER TO ALLOW FOR THE EARLIEST POSSIBLE ESTABLISHMENT OF STABILIZED GRASS. MULTIPLE MOBILIZATIONS FOR THE SEEDING OF SPECIFIC SECTIONS SHALL BE INCLUDED IN THE WORK.
- THE JOB WIDE SEQUENCE OF GENERAL WORK OPERATIONS RELATING TO EARTH DISTURBING ACTIVITIES SHALL BE SUCH AS TO PREVENT THE POTENTIAL FOR EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS, WHILE ALSO CONSIDERING MAINTENANCE OF TRAFFIC:
 - SITE CLEARING AND BUILDING DEMOLITION
 - TEMPORARY SEEDING AS NEEDED - INCIDENTAL APPLICATIONS THROUGHOUT CONSTRUCTION
 - UNDERGROUND CONSTRUCTION
 - ROUGH GRADING/FINE GRADING
 - BUILDING CONSTRUCTION
 - PAVEMENT CONSTRUCTION
 - COMPLETION OF PERMANENT SEEDING
 - MISCELLANEOUS CONSTRUCTION
 - FINAL CLEANUP
 - TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AT THE TIME OF SITE CLEARING AS EARLY IN THE ABOVE SEQUENCE AS NEEDED, AND SHALL BE MAINTAINED THROUGHOUT THE SEQUENCE AS NEEDED. DURING THE COURSE OF WORK, CLEANUP SHALL BE DONE AS NEEDED AND AS DIRECTED TO AVOID EROSION AND SEDIMENTATION.
 - THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN SHALL BE CONSIDERED A MINIMUM APPLICATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION.
 - THE CONTRACTOR SHALL LOCATE AND MAINTAIN A CONCRETE WASHOUT AREA FOR THE DURATION OF CONCRETE POURING ACTIVITIES. THE CONTRACTOR SHALL REMOVE ALL DRIED CONCRETE FROM THE WASHOUT AREA BY THE END OF THE PROJECT.
 - THE CONTRACTOR SHALL PROVIDE RIP-RAP DAMS ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIT FROM THE SITE TO ELIMINATE SEDIMENT RUN-OFF.
 - THE CONTRACTOR SHALL AVOID UNNECESSARILY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER ALONG THE PROJECT PERIMETER. THESE AREAS ACT AS SEDIMENT FILTERS.
 - ALL TEMPORARY SOIL EROSION AND SEDIMENTATION PROTECTION SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF THE WORK AND THE AFFILIATED AREA IS PERMANENTLY STABILIZED.
 - REMOVAL OF TEMPORARY EROSION AND SEDIMENTATION PROTECTION IS REQUIRED FOR FINAL PROJECT ACCEPTANCE.

RIP RAP AT PIPE OUTLET

MATERIAL: HARD ANGULAR AND WEATHER RESISTANT, HAVING A SPECIFIC GRAVITY OF AT LEAST 2.5.

GRADATION: WELL GRADED STONE, 50% (BY WEIGHT LARGER THAN THE SPECIFIED D50; HOWEVER THE LARGEST PIECES SHOULD NOT EXCEED TWO TIMES THE SPECIFIED D50, AND NO MORE THAN 15% OF THE PIECED (BY WEIGHT) SHOULD BE LESS THAN 3 IN.

FILTER: US GEOTEXTILE FABRIC FOR STABILIZATION AND FILTRATION OR SAND/GRAVEL LAYER PLACED UNDER ALL PERMANENT RIPRAP INSTALLATIONS.

SLOPE: 2:1 OR FLATTER, UNLESS APPROVED IN THE EROSION AND SEDIMENT CONTROL PLAN.

SUBGRADE PREPARATION

- REMOVE BRUSH, TREES, STUMPS AND OTHER DEBRIS.
- EXCAVATE ONLY DEEP ENOUGH FOR BOTH FILTER AND RIPRAP. OVER-EXCAVATION INCREASES THE AMOUNT OF SOILS CONSIDERABLY.
- COMPACT ANY FILL MATERIAL TO THE DENSITY OF THE SURROUNDING UNDISTURBED SOIL.
- SMOOTH THE GRADED FOUNDATION.

FILTER PLACEMENT

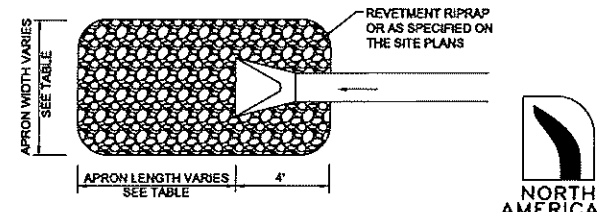
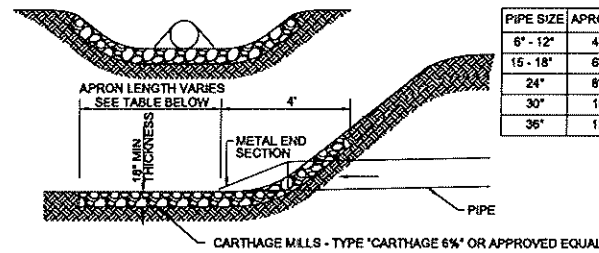
- IF USING GEOTEXTILE FABRIC, PLACE IT ON THE SMOOTHED FOUNDATION, OVERLAP THE EDGES AT LEAST 12 IN., AND SECURE WITH ANCHOR PINS SPACED EVERY 3FT ALONG THE OVERLAP.
- IF USING A SAND/GRAVEL FILTER, SPREAD THE WELL GRADED AGGREGATE IN A UNIFORM LAYER TO THE REQUIRED THICKNESS (6 IN. MIN.); IF TWO OR MORE LAYERS ARE SPECIFIED, PLACE THE LAYER OF SMALLER GRADATION FIRST AND AVOID MIXING THE LAYERS.

RIPRAP PLACEMENT

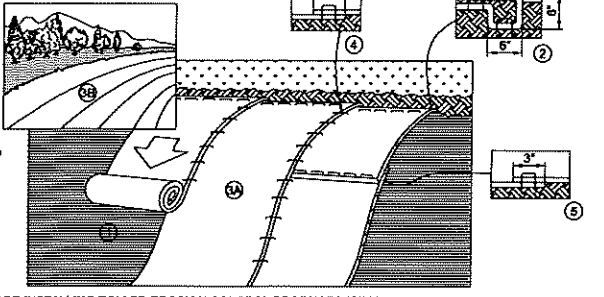
- IMMEDIATELY AFTER INSTALLING THE FILTER, ADD THE RIPRAP TO FULL THICKNESS IN ONE OPERATION. (DO NOT DUMP THROUGH CRUTES OR USE ANY METHOD THAT CAUSES SEGREGATION OF ROCK SIZES OR THAT WILL DISLODGE OR DAMAGE THE UNDERLYING FILTER MATERIAL.)
- IF FABRIC IS DAMAGED, REMOVE THE RIPRAP AND REPAIR BY ADDING ANOTHER LAYER OF FABRIC, OVERLAPPING THE DAMAGED AREA BY 12 IN.
- PLACE SMALLER ROCK IN VOIDS TO FORM A DENSE, UNIFORM, WELL-GRADED MASS. (SELECTIVE LOADING AT THE QUARRY AND SOME HAND PLACEMENT MAY BE NEEDED TO ENSURE AN EVEN DISTRIBUTION OF ROCK MATERIAL.)
- BLEND THE ROCK SURFACE SMOOTHLY WITH THE SURROUNDING AREA TO ELIMINATE PROTRUSIONS OR OVER-FALLS.

MAINTENANCE

- INSPECT PERIODICALLY FOR DISPLACED ROCK MATERIAL, SLUMPING, AND EROSION AT EDGES, ESPECIALLY DOWN-STREAM OR DOWN-SLOPE.



STORM SEWER OUTLET PROTECTION (8) C502 NOT TO SCALE

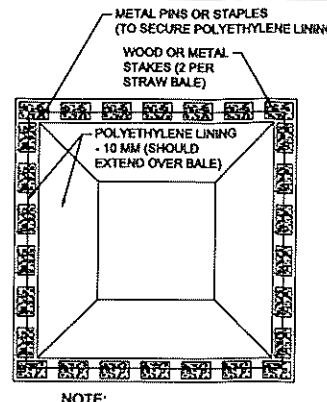


- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
- HOLL THE RECP'S (A) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

EROSION CONTROL BLANKET DETAIL (7) C502 NOT TO SCALE

- NOTE:
1. CONCRETE WASHOUT LOCATION TO BE DETERMINED BY CONTRACTOR. CONTRACTOR TO SELECT EITHER AN ABOVE OR BELOW GRADE SYSTEM AS DETAILED OR A PREFABRICATED WASHOUT SYSTEM/CONTAINER. ALL OTHER METHODS SHALL BE APPROVED BY THE SOIL AND WATER CONSERVATION DISTRICT PRIOR TO USE.
- ABOVE AND BELOW GRADE SYSTEMS SHALL BE A MINIMUM OF 10 FEET X 10 FEET AND INCLUDE A MINIMUM OF 12" OF FREE BOARD IS REQUIRED FOR BELOW GRADE AND 4" MINIMUM FOR ABOVE GRADE SYSTEMS TO ENSURE THE AREA WILL NOT OVERFLOW DURING A RAINFALL EVENT.
 - SYSTEM SHALL BE SIZED TO CONTAIN ALL LIQUID AND WASTE THAT IS EXPECTED TO BE GENERATED BETWEEN CLEANOUT PERIODS.
 - CONTRACTOR SHALL INSTALL THE SELECTED SYSTEM IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



CONCRETE WASHOUT ABOVE GRADE SYSTEM (5) C502 NOT TO SCALE

COIR LOG/SILT WORM

MATERIAL: SILT-WORM OR APPROVED EQUAL

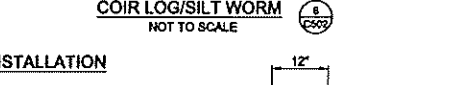
- INSTALLATION
- INSTALL SILT WORM AROUND PERIMETER OF AREA TO BE DISTURBED
 - OVERLAP CONTIGUOUS SECTIONS OF SILT WORM 1 FT. MINIMUM.

PERIMETER CONTROL:
PLACE SILT WORM DIRECTLY ON TOP OF GRADE, AND OVERLAP ENDS A MINIMUM OF 6". SITE PREPARATION IS MINIMAL, AND THERE IS NO STAKING OR TRENCHING REQUIREMENT FOR GRADES UNDER 12%. ARRANGE THE SILT WORM PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW.

SLOPE INTERRUPTION:
PLACE SILT WORM PERPENDICULAR TO SHEET FLOW AND CURL ENDS UP TOWARD THE TOP OF THE SLOPE. STAKE THE SILT WORM EVERY 6' AND OVERLAP THE ENDS BETWEEN 1 TO 2 FEET. PLACE A LINE OF DEFENSE AT THE TOP OF THE SLOPE, AND ANOTHER WITHIN 10' FROM THE TOE OF THE SLOPE.

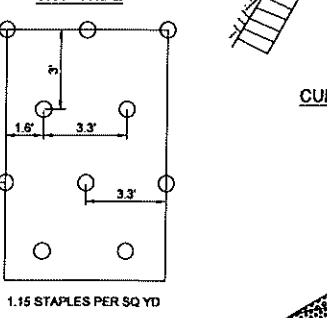
DITCH CHECK:
SILT WORM SHOULD BE INSTALLED WITH A SLIGHT ENTRENCHMENT, AND STAKED EVERY 4' IN THE DITCH CHECK APPLICATION.

- NOTES:
- ADJACENT ROLLS SHALL BE OVERLAPPED, NOT ADJUTED.
 - INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



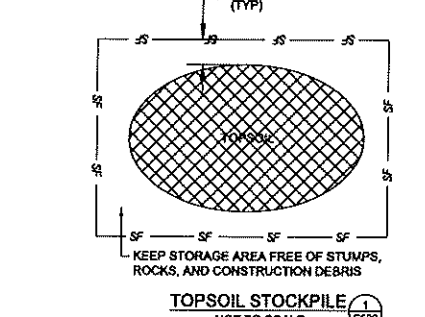
COIR LOG/SILT WORM (8) C502 NOT TO SCALE

STAPLE PATTERN GUIDE

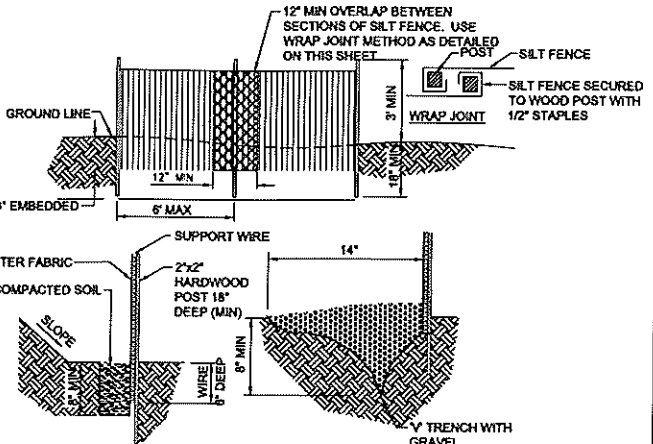


STAPLE PATTERN GUIDE (6) C502 6.67' WIDE 1.15 STAPLES PER SQ YD

- NOTES:
- TOPSOIL STOCKPILE LOCATION TO BE DETERMINED BY CONTRACTOR.
 - STOCKPILE SHALL BE SIZED TO CONTAIN ALL TOPSOIL THAT IS EXPECTED TO BE USED FOR SITE GRADING PURPOSES.
 - CONTRACTOR SHALL INSTALL SILT FENCE SURROUNDING THE STOCKPILE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.

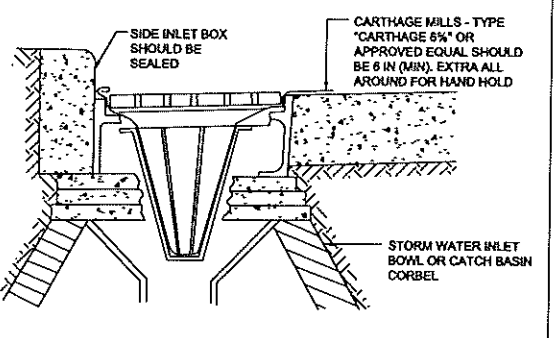


TOPSOIL STOCKPILE (1) C502 NOT TO SCALE

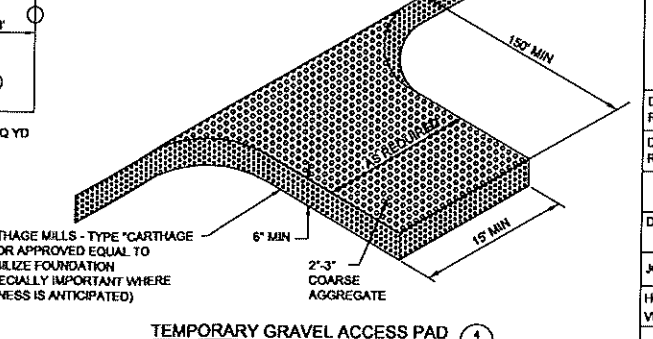


SILT FENCE - PERIMETER PROTECTION (2) C502 NOT TO SCALE

- NOTE:
SILT FENCE SHALL BE INSTALLED ON AN AS NEEDED BASIS TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. IT IS NOT INTENDED TO BE NEEDED IN ALL AREAS HOWEVER IF DURING CONSTRUCTION SILT FENCE IS REQUIRED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.



CURB INLET PROTECTION (3) C502 NOT TO SCALE



TEMPORARY GRAVEL ACCESS PAD (4) C502 NOT TO SCALE

NO.	DESCRIPTION	DATE

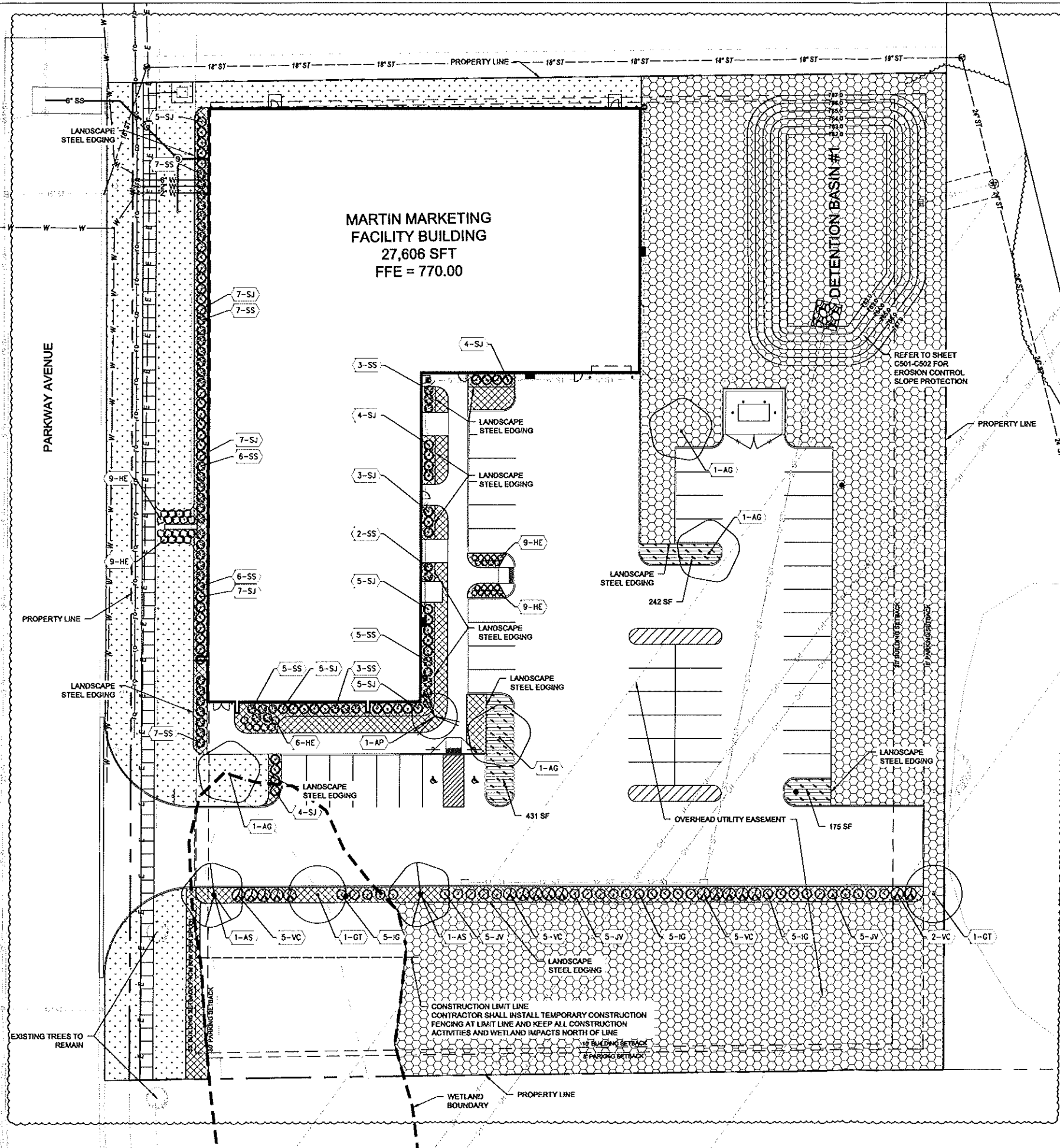
DESIGNED BY: JTB
REVIEWED BY: AC
DRAWN BY: JTB
REVIEWED BY: CE
DATE: 10/04/2024
JOB NUMBER: 2024-0044
HORIZ SCALE: AS SHOWN
VERTICAL SCALE: NONE

C502

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MARTIN MARKETING FACILITY
3414 ELKHART ROAD
GOSHEN INDIANA
DJ CONSTRUCTION
SITE EROSION CONTROL DETAILS

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PLANT MATERIAL LIST

ID	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	QTY	ROOT
AS	ACER SACCHARUM	SUGAR MAPLE	2 1/2" MIN.	30"TH40"W	7	B & B
GT	GLEDOTIA TRICANTHOS VAR. INERMIS 'ROYCOLE'	SKYLINE HONEY LOCUST	2 1/2" MIN.	50"TH40"W	2	B & B
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICE BERRY	2" CAL.	25"TH120"W	4	B & B
AP	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	2" CAL.	20"TH115"W	1	B & B
JV	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" SPRD	31"TH5"W	15	3 GAL.
IO	ILEX GLABRA 'CHAZM'	NORDDI INK BERRY	24" SPRD	41"TH4"W	15	3 GAL.
VC	VIBURNUM CARLESII 'COMPACTUM'	DWARF KOREAN SPICE VIBURNUM	24" SPRD	31"TH4"W	17	3 GAL.
SJ	SPREA JAPONICA	JAPANESE SPREA	24" SPRD	31"TH4"W	50	3 GAL.
SS	SYRINGA X 'SMPSOTT'	BABY KIM LILAC	24" SPRD	31"TH4"W	51	3 GAL.
HE	HEMEROCALLIS STELLA D'ORO	STELLA D'ORO DAYLILY	#1 CONT.	21"TH2"W	42	1 GAL.

- SEEDED TURF OVER ENTIRE AREA OF DISTURBANCE
- LIRIOPE SPICATA VAREGATA; VARIAGATED LILY TURF, 32 COUNT FLAT, SPACED 12" O.C.
- FOREVERLAWN SELECT SYNTHETIC GRASS
- GREY SLATE LANDSCAPING STONE
- RIVER ROCK LANDSCAPING STONE

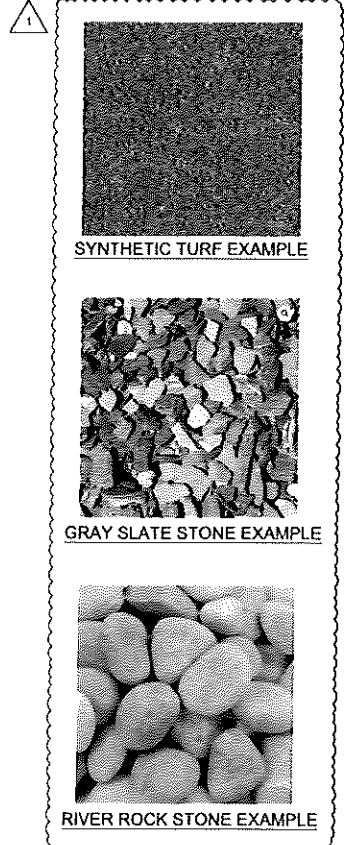
SEEDING NOTES

- ALL DISTURBED AREAS TO BE DRILL SEED WITH THE FOLLOWING GRASS SEED MIXTURE:

TYPE	% BY WEIGHT	% BY PURITY	% BY GERMINATION
KENTUCKY BLUE GRASS	35	85	80
RED FESCUE	30	98	85
MANHATTAN PERENNIAL RYE	17	98	90
NORLEA PERENNIAL RYE	17	98	90
- TURF SEED INSTALLATION: SOW SEED WITH DRILL SEEDING MACHINE. EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. DO NOT USE WET SEED OR SEED THAT IS MOLDY OR OTHERWISE DAMAGED. DO NOT SEED AGAINST EXISTING TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SAUCER.
 - SOW SEED AT A TOTAL RATE OF 4 LB/1000 SQ. FT.
 - RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
 - PROTECT SEEDING AREAS WITH SLOPES EXCEEDING 1:3 WITH EROSION-CONTROL BLANKETS INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECT SEEDING AREAS WITH SLOPES NOT EXCEEDING 1:3 BY HYDROMULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 1 1/2 TONS/ACRE TO FORM A CONTINUOUS BLANKET OVER SEEDING AREAS.
- SATISFACTORY SEEDING TURF: AT END OF MAINTENANCE PERIOD (90 DAYS), A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 3 INCHES BY 3 INCHES (3" X 3").

PLANT MATERIAL NOTES

- ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK, 2014 EDITION HORTIS THIRD 1078 CORNELL UNIVERSITY.
- PLANT CONTAINER SIZES ARE SHOWN AS GUIDELINES ONLY (MINIMUM HEIGHT AND SPREAD REQUIREMENTS RULE). PLANT HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUMS, ON CENTER (O.C.) SPECIFICATIONS ARE MAXIMUMS.



REV	DESCRIPTION	JTB	DATE
1	PLAN REVISIONS PER LANDSCAPING AMENDMENT	JTB	07/21/2025

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

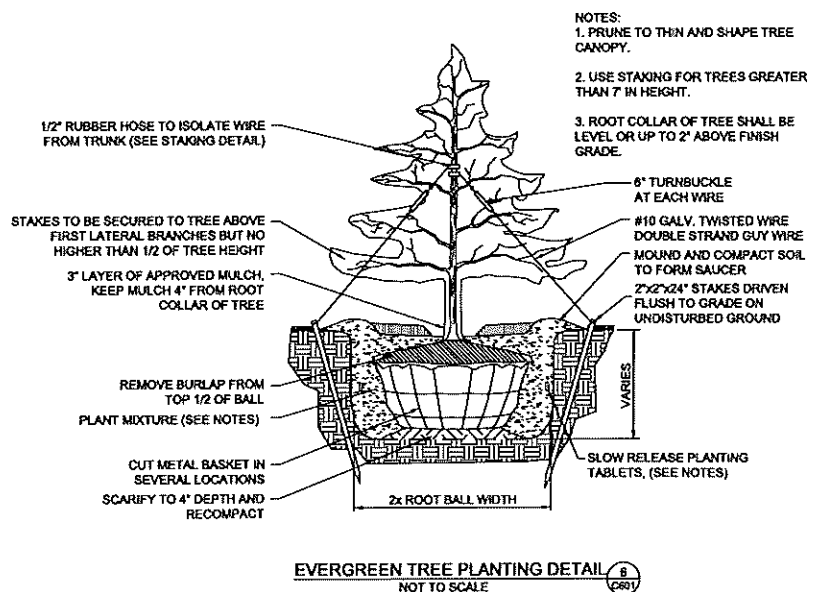
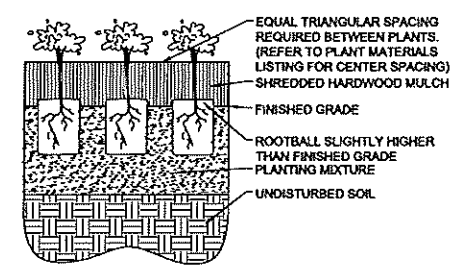
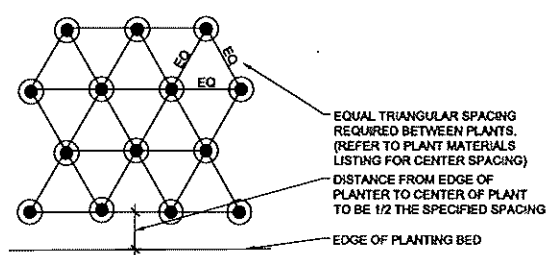
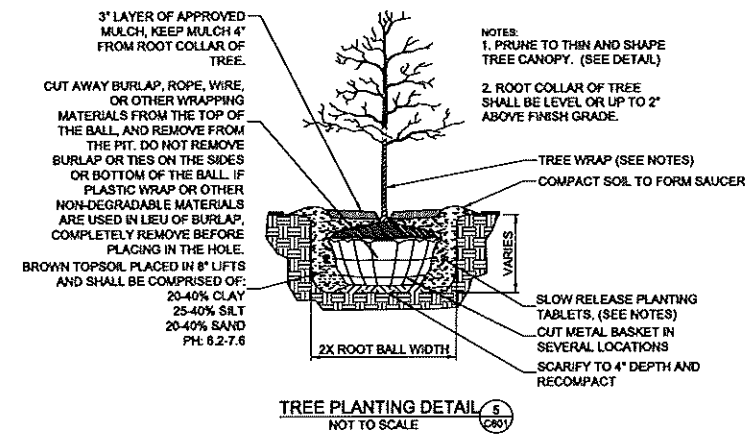
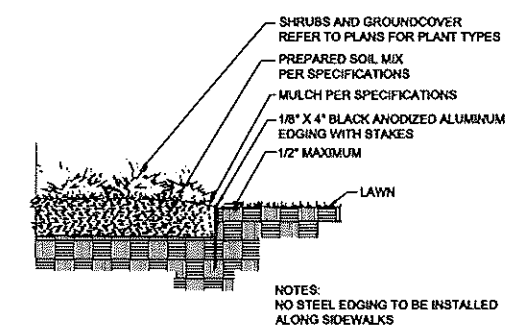
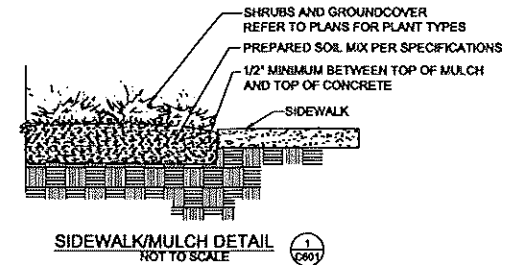
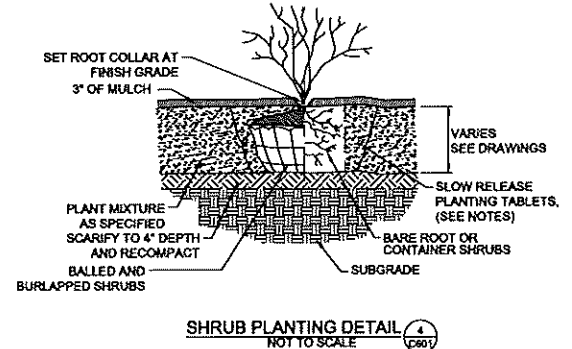
DATE: 10/04/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: 1" = 20'
 VERTICAL SCALE: NONE

C601

MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

JONES
 PETRIE
 RAFINSKI
 South Bend, IN
 Fort Wayne, IN
 P: 317.438.4388
 P: 260.422.2522

- NOTES:**
- DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
 - THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
 - REMOVE BURLAP FROM TOP 1/3 OF BALL, OR WITH CONTAINER PLANTS, REMOVE POTS AND SPLIT BALLS AS SPECIFIED.



GENERAL LANDSCAPE NOTES

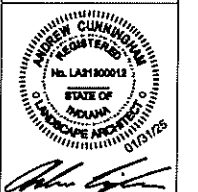
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION OF ALL PRIVATE AND PUBLIC UTILITY LINES WHICH AFFECT THIS SITE. CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
- CONTRACTOR SHALL REVIEW PLANTING SPECIFICATIONS AND PLANTING DETAILS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH CONDITIONS UNDER WHICH WORK SHALL BE IMPLEMENTED PRIOR TO BIDDING.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING WORK.
- PLANTING BEDS SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PONDING OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURE OR TO STREET. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE. IRRIGATION SYSTEM SHALL BE DESIGNED TO ELIMINATE OVERSPRAY ONTO BUILDINGS, STRUCTURES AND MONUMENT SIGNS.
- CONTRACT OFFICER SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL.
- CONTRACTOR SHALL IMMEDIATELY, UPON THE AWARD OF THE CONTRACT, LOCATE, ORDER AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER FOR OBSERVATION AT THE FOLLOWING TIMES:
 - TREE LOCATIONS - PRIOR TO PLANTING
 - PLANT APPROVAL AND SPOTTING - PRIOR TO PLANTING
 - PRE-MAINTENANCE APPROVAL
 - POST-MAINTENANCE / FINAL APPROVAL
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS MADE NECESSARY THROUGH THE ACTIONS/NEGLECT OF THEIR CREW.
- SHRUB AND GROUND COVER MASS QUANTITIES ARE SHOWN ON PLANS. UNDERPLANT ALL TREES WITH THE ADJACENT SHRUB AND/OR GROUND COVER AS INDICATED BY THE PLANS. PLANTS SHALL BE INSTALLED WITH TRIANGULAR SPACING. PLANT GROUND COVERS TO WITHIN 36\"/>

REV	DESCRIPTION	BY	DATE

**JONES
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East Village, IN
P: 260-422-2622

South Bend, IN
P: 574-232-4388



MARTIN MARKETING FACILITY
DJ CONSTRUCTION
3414 ELKHART ROAD
GOSHEN, INDIANA

LANDSCAPE NOTES & DETAILS

DESIGNED BY: JH
REVIEWED BY: AC

DRAWN BY: JH
REVIEWED BY: AC

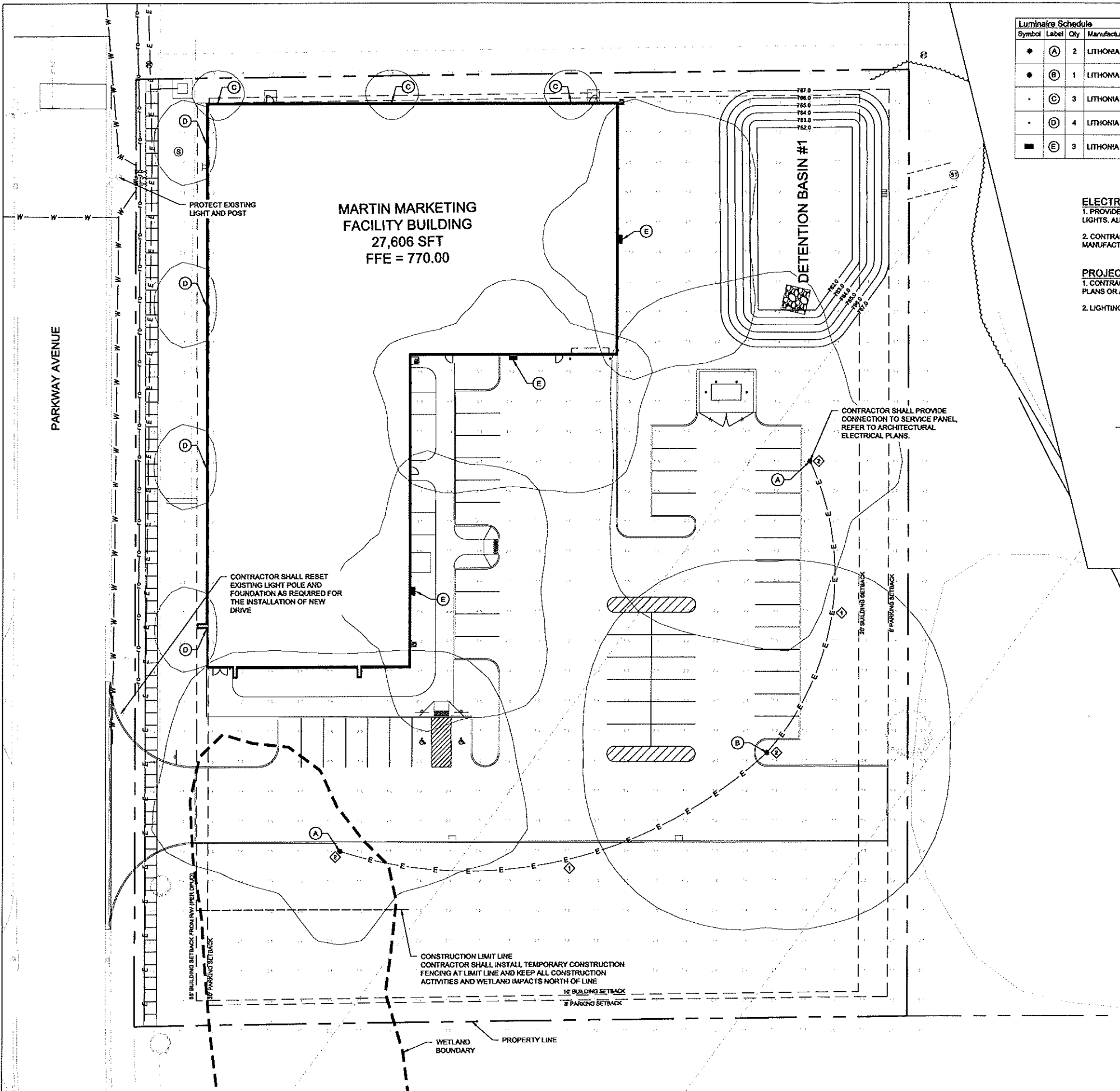
DATE: 10/04/2024

JOB NUMBER: 2024-0044

HORIZ SCALE: NONE
VERTICAL SCALE: NONE

C602

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Luminaire Schedule								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Light Loss Factor	Wattage
*	(A)	2	LITHONIA LIGHTING	RSX2 LEF P5 50K R4 MVOLT IS FAO DOBXD / SSS 25 4C T20 DOBXD	RSX AREA FIXTURE SIZE 2 P5 LUMEN PACKAGE 5000K CCT TYPE R4 DISTRIBUTION	50K LED	0.95	214
*	(B)	1	LITHONIA LIGHTING	RSX2 LEF P5 50K R4 MVOLT IS FAO DOBXD / SSS 25 4C T20 DOBXD	RSX AREA FIXTURE SIZE 2 P5 LUMEN PACKAGE 5000K CCT TYPE R5 DISTRIBUTION	50K LED	0.95	214
*	(C)	3	LITHONIA LIGHTING	WPX0 LED AL0-1 50K MVOLT	WPX0 LED, 850 LUMEN SETTING, 5000K SETTING, 120-277V MOUNTED AT 9' A.F.G.	50K LED	0.95	6
*	(D)	4	LITHONIA LIGHTING	WDGE1 LED P1 50K 80CRI VW MVOLT SRM AWS DOBXD	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 5000K, 80CRI, VISUAL COMFORT WIDE OPTIC MOUNTED AT 15' A.F.G.	50K LED	0.95	10
*	(E)	3	LITHONIA LIGHTING	WDGE4 LED P4 70CRI R4 50K	WDGE4 LED WITH P4 - PERFORMANCE PACKAGE, 5000K, 70CRI, TYPE 4 OPTIC MOUNTED AT 18' A.F.G.	50K LED	0.95	147

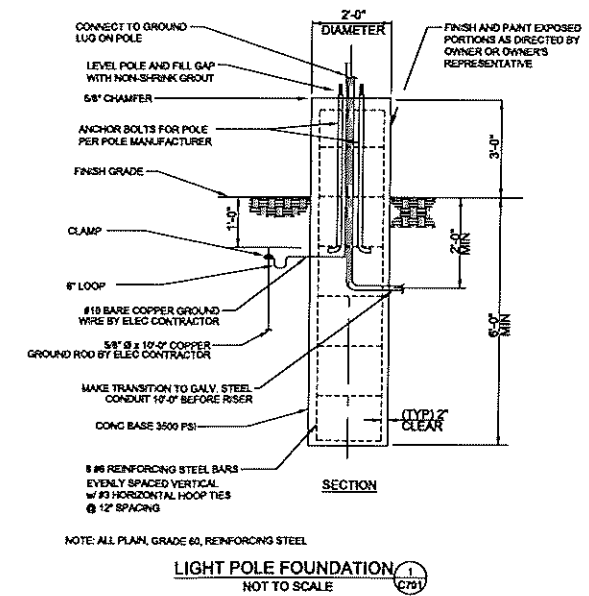
ELECTRICAL KEYED NOTES DENOTED BY :

- PROVIDE A COMPLETE WORKING SYSTEM. CONDUCTORS (A) #4, (1) #4 GND. (4 COLOR) FOR THE LIGHTS. ALL CONDUIT SHALL BE PVC SCHEDULE 80.
- CONTRACTOR SHALL INSTALL NEW POLE AND FIXTURE TO BE SET ON TOP OF NEW FOUNDATION PER MANUFACTURER'S SPECIFICATIONS.

PROJECT COORDINATION NOTES:

- CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING UTILITY POLES AND LIGHTS PER PLANS OR AS DIRECTED BY OWNER.
- LIGHTING MANUFACTURER SHALL BE PER PLANS, OR APPROVED EQUAL.

- LEGEND**
- EXISTING LIGHT FIXTURE, TO BE REMOVED WHEN NOTED
 - EXIST IN GROUND VALVES TO REMAIN U.O.N.
 - REFER TO KEYED NOTES
 - PROPOSED LIGHT LOCATION WITH POLE
 - ELECTRIC CONDUIT



DESIGNED BY: JTB	REVIEWED BY: AC
DRAWN BY: JTB	REVIEWED BY: CE
DATE: 10/04/2024	
JOB NUMBER: 2024-0044	
HORIZ. SCALE: 1" = 20'	
VERTICAL SCALE: NONE	
C701	

MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

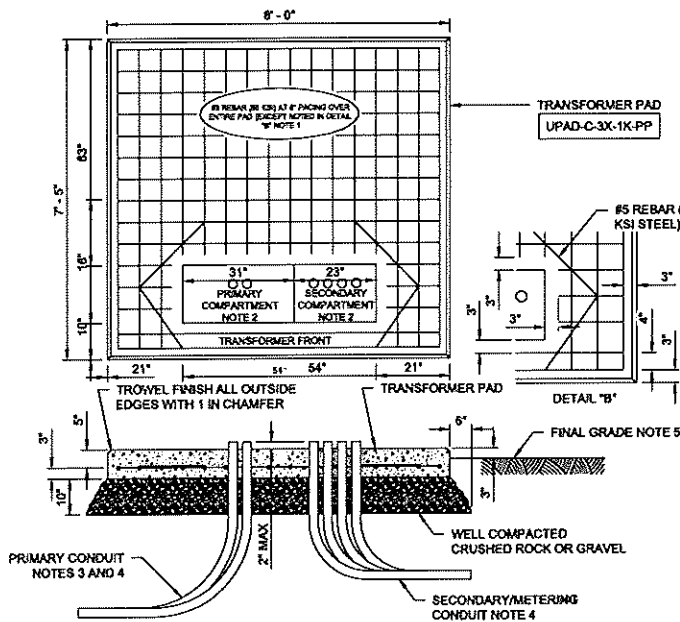
**JONES
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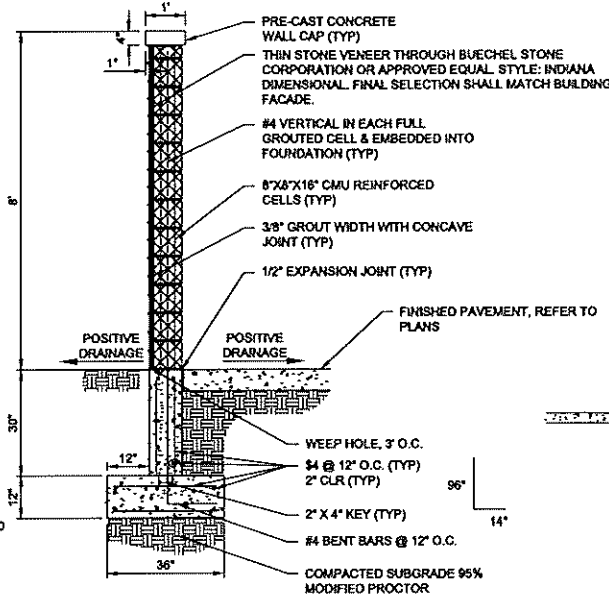
Fort Wayne, IN
 p. 260.422.2622

- PROVIDE 3,500 PSI CONCRETE WITH A MINIMUM 3 INCH COVER OVER ALL REBAR. WIRE MESH WITH A MINIMUM CROSS SECTIONAL AREA OF 0.176 SQUARE INCHES PER FOOT OF PAD WIDTH MAY BE USED IN PLACE OF REBAR.
- THE NUMBER AND PLACEMENT OF CONDUITS TO BE DETERMINED BY ENGINEERING. SECONDARY CONDUIT MAY EXTEND IN ANY DIRECTION AS REQUIRED BY THE CUSTOMER.
- PRIMARY CONDUIT NUMBER, SIZE, LOCATION AND DIRECTION TO BE SPECIFIED BY ENGINEERING. CONDUIT CAN BE FLEXIBLE, TYPE EB OR DB PVC CONDUIT WITH 90°, 36 INCH RADIUS BENDS TO AVOID DISTURBING THE GROUND UNDER THE REAR OF THE PAD AND TO MINIMIZE SETTLING. BRING CONDUITS TO THE FRONT OR SIDES WHENEVER POSSIBLE AND MARK THE CONDUIT END LOCATIONS.
- BURIAL DEPTH IS DEFINED AS THE DISTANCE BETWEEN FINAL GRADE AND THE TOP OF THE BURIED CABLE OR CONDUIT. PRIMARY CABLES SHALL BE INSTALLED AT A BURIAL DEPTH OF NOT LESS THAN 3'-0" AND SECONDARY CABLES SHALL BE INSTALLED AT A BURIAL DEPTH OF NOT LESS THAN 2'-6". IT IS RECOMMENDED THAT PRIMARY CABLES AND SECONDARY CABLES MAINTAIN BURIAL DEPTHS OF 2'-6" AND 2'-0" RESPECTIVELY; THE INITIAL 3'-0" AND 2'-6" BURIAL DEPTHS ARE TO ALLOW FOR CHANGES IN SURFACE CONDITIONS.
- FINAL GRADE SHALL BE ESTABLISHED BEFORE INSTALLATION OF PAD.

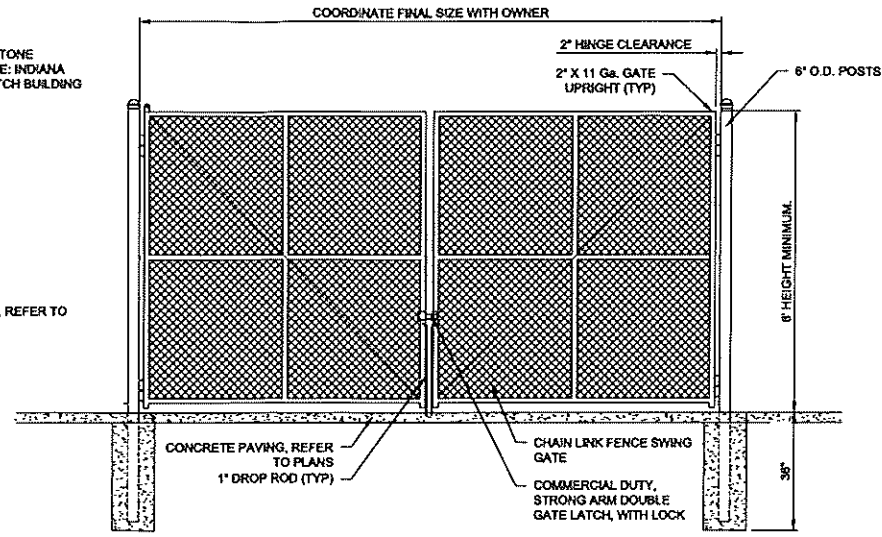
AMERICAN ELECTRIC POWER COMPANY DISTRIBUTION STANDARDS



AEP TRANSFORMER CONCRETE PAD DETAIL
NOT TO SCALE



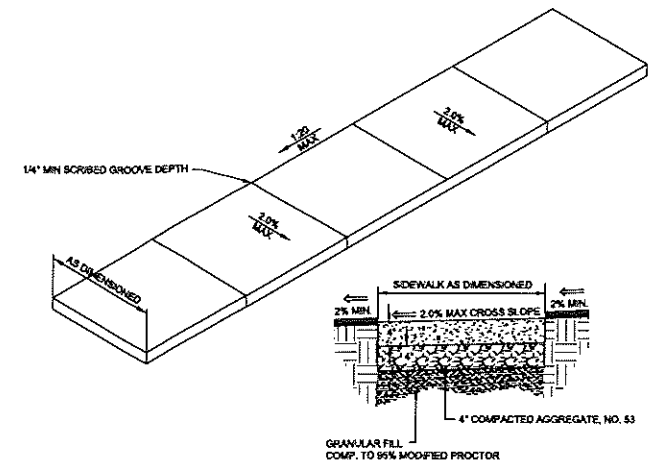
ENCLOSURE WALL



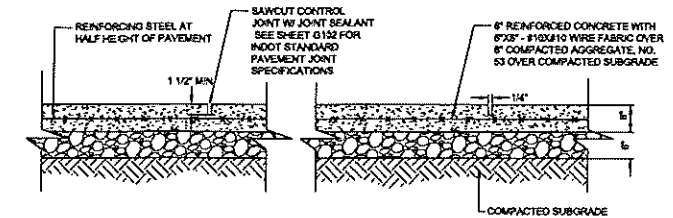
ENCLOSURE DOUBLE GATE

MASONRY TRASH ENCLOSURE WALL AND GATE
NOT TO SCALE

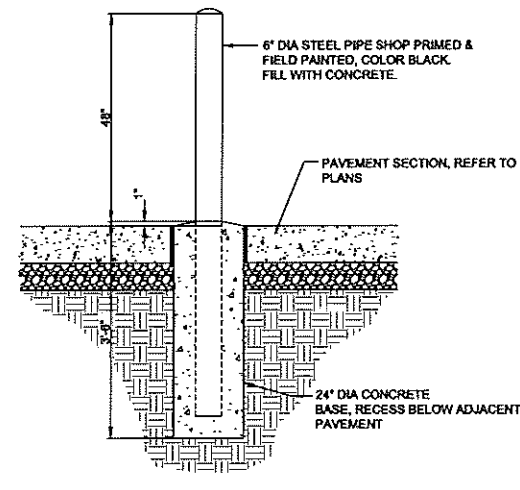
- NOTE:**
- ALL STEEL POSTS, FABRIC, & HARDWARE TO BE GALVANIZED WITH PVC VINYL COATING COLOR: BLACK
 - PRIVACY SLATS TO BE INSTALLED AS PART OF GATE, COLOR: BLACK
 - ENCLOSURE DIMENSIONS ARE APPROXIMATE. FINAL DIMENSIONS SHALL BE COORDINATED WITH OWNER & GARBAGE SERVICE PROVIDER TO ENSURE CONTAINERS FIT.



TYPICAL SIDEWALK/ CONCRETE SECTION
NOT TO SCALE

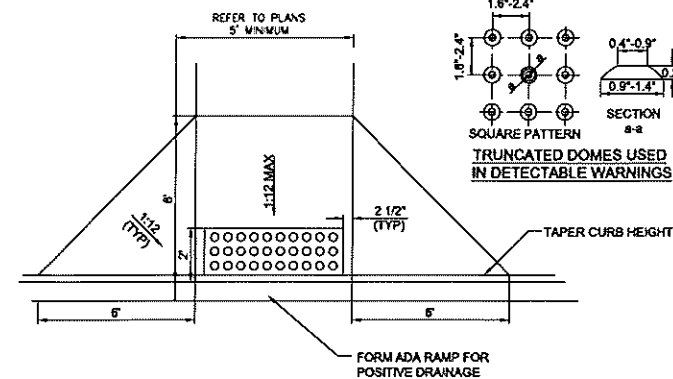


6" REINFORCED CONCRETE PAVEMENT SECTION
NOT TO SCALE

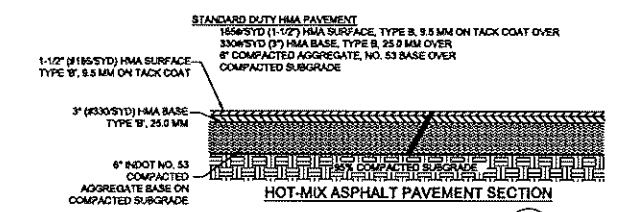


PIPE BOLLARD DETAIL
NOT TO SCALE

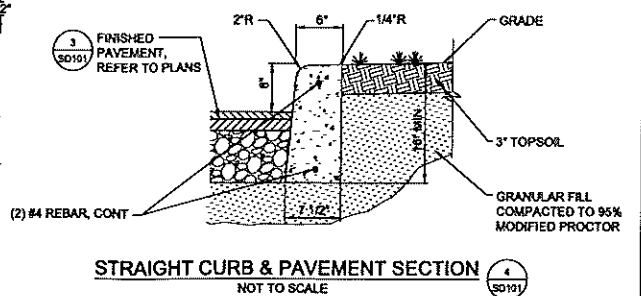
- BOTTOM EDGE OF THE CURB RAMP SHALL BE FLUSH WITH EDGE OF ADJACENT PAVEMENT AND GUTTER LINE.
- LANDING AREAS AT THE TOP OF CURB RAMPS HAVE MAXIMUM CROSS-SLOPE OF 50:1 IN ANY DIRECTION. WHEN SITE INFEASIBILITY PRECLUDES A LANDING SLOPE OF 50:1 IN ANY DIRECTION, THE SLOPE PERPENDICULAR TO THE CURB FACE SHALL NOT EXCEED 50:1.
- ALGEBRAIC DIFFERENCE IN GRADE BETWEEN THE BASE OF CURB RAMP AND THE GUTTER SHALL BE LIMITED TO LESS THAN 11%. IF IT IS NOT PRACTICAL, A 2'-0" WIDE LEVEL STRIP SHALL BE PROVIDED.
- REFER TO PLANS FOR WIDTH, MINIMUM WIDTH OF CURB RAMP IS 4'-0".
- DETECTABLE WARNING PANELS SHALL BE UNFINISHED CAST IRON DETECTABLE WARNING FIELDS AS MANUFACTURED BY NEENAH FOUNDRIES, TUFTILE CORPORATION, OR PIONEER DETECTABLE LLC AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS



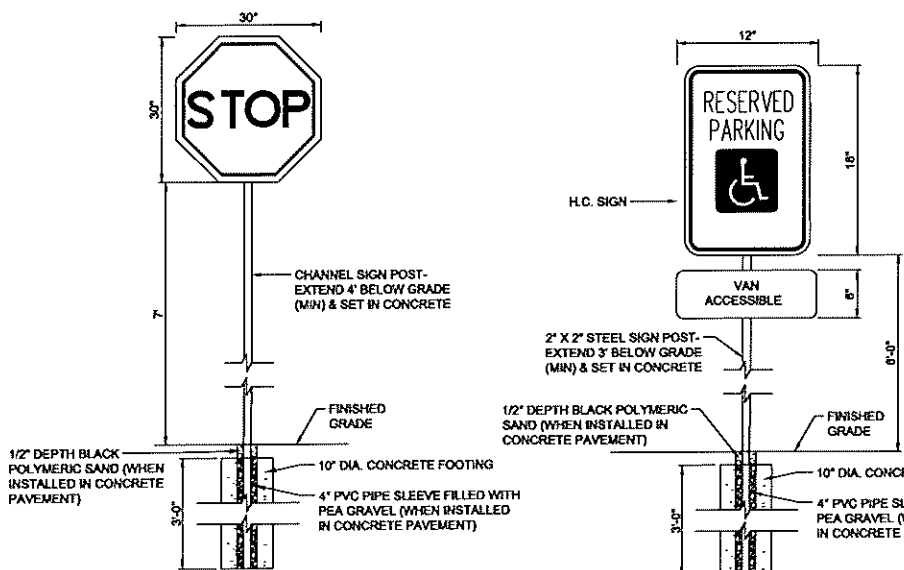
ACCESSIBLE ADA RAMP
NOT TO SCALE



HMA PAVEMENT SECTION
NOT TO SCALE

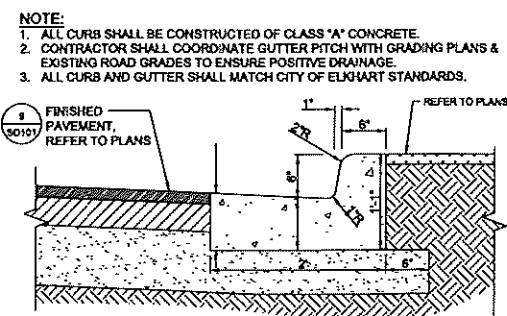


STRAIGHT CURB & PAVEMENT SECTION
NOT TO SCALE

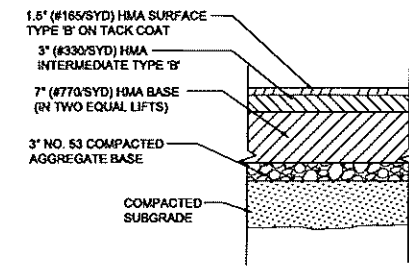


STOP SIGN
NOT TO SCALE

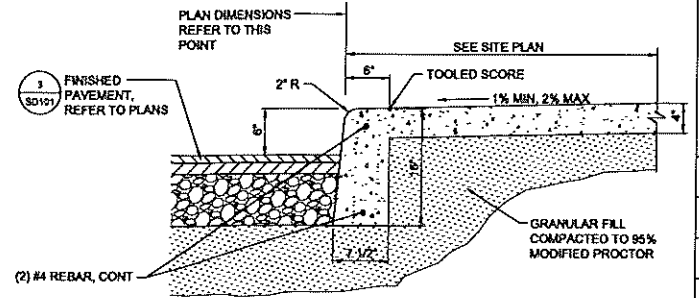
HANDICAP SIGN
NOT TO SCALE



CONCRETE CURB AND GUTTER
NOT TO SCALE



RIGHT-OF-WAY ASPHALT RESTORATION DETAIL
NOT TO SCALE



INTEGRAL CONCRETE CURB
NOT TO SCALE

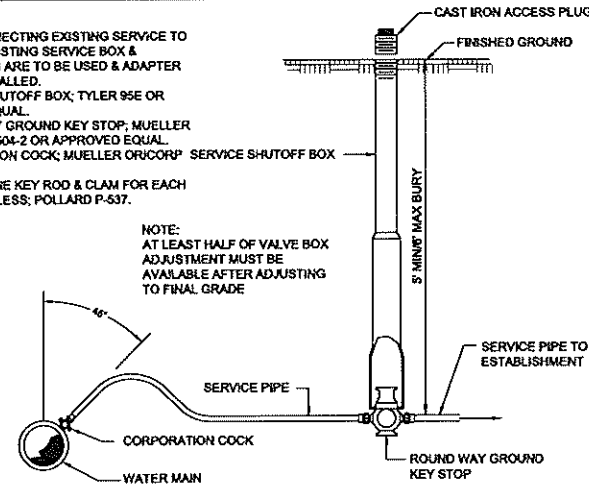
REV	DESCRIPTION	BY	DATE

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P: 574.232.4588
F: 260.422.2522

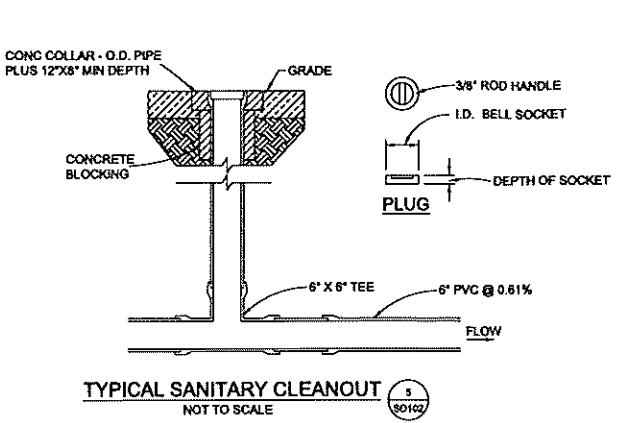


MARTIN MARKETING FACILITY
GOSHEN INDIANA
3414 ELKHART ROAD
DJ CONSTRUCTION
SITE DETAILS I
DESIGNED BY: JTB
REVIEWED BY: AC
DRAWN BY: JTB
REVIEWED BY: CE
DATE: 10/04/2024
JOB NUMBER: 2024-0044
HORIZ. SCALE: 1" = 20'
VERTICAL SCALE: NONE
SD101

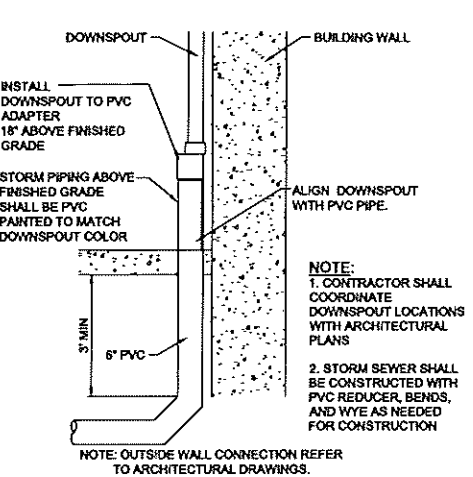
- NOTES:
1. WHEN CONNECTING EXISTING SERVICE TO NEW MAIN, EXISTING SERVICE BOX & ACCESSORIES ARE TO BE USED & ADAPTER FITTINGS INSTALLED.
 2. SERVICE SHUTOFF BOX; TYLER 95E OR APPROVED EQUAL.
 3. ROUND WAY GROUND KEY STOP; MUELLER ORISEAL 3H-1504-2 OR APPROVED EQUAL.
 4. CORPORATION COCK; MUELLER ORUCORP[®] SERVICE SHUTOFF BOX H-1500B.
 5. PROVIDE ONE KEY ROD & CLAM FOR EACH 10 BOXES OR LESS; POLLARD P-537.



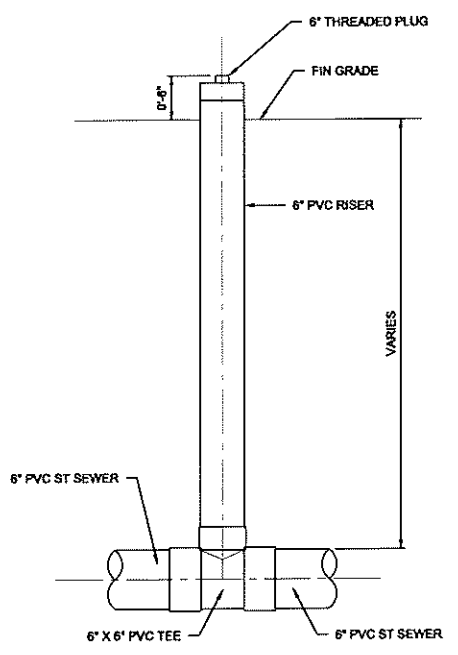
WATER SERVICE CONNECTION 1
NOT TO SCALE



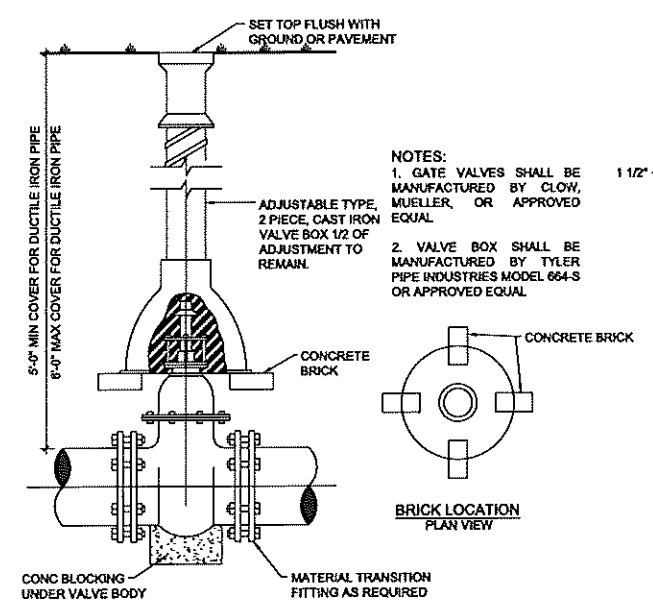
TYPICAL SANITARY CLEANOUT 5
NOT TO SCALE



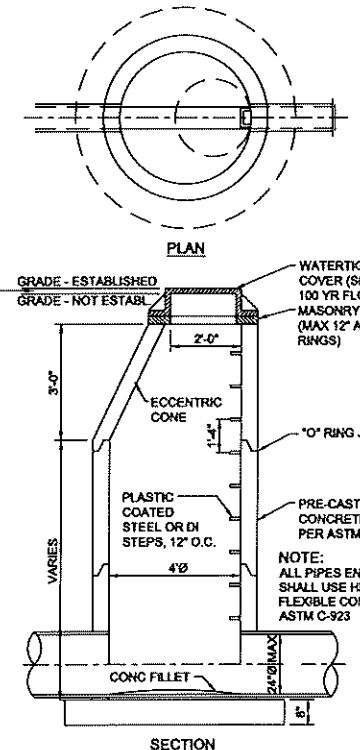
PVC DOWNSPOUT DRAIN PIPE 3
NOT TO SCALE



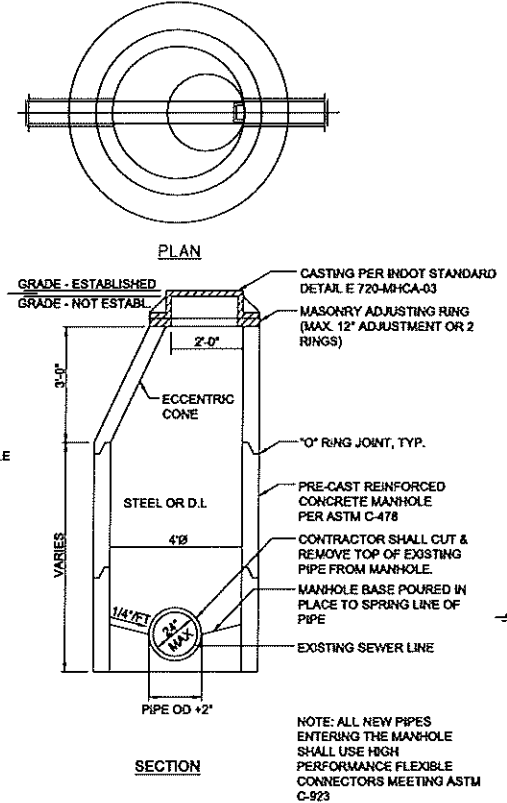
IN-LINE STORM CLEANOUT 19
NOT TO SCALE



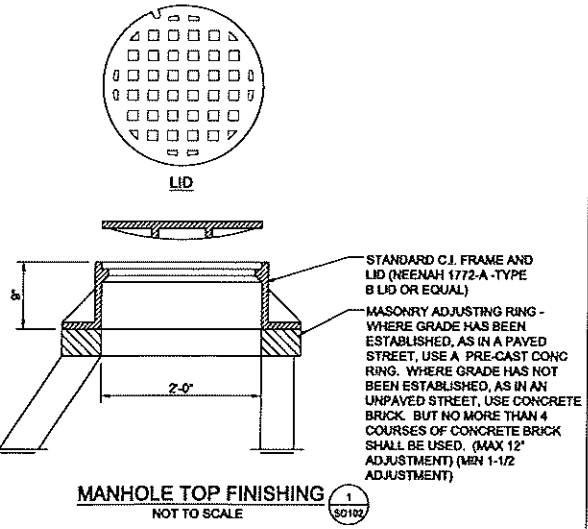
TYPICAL GATE VALVE & VALVE BOX 9
NOT TO SCALE



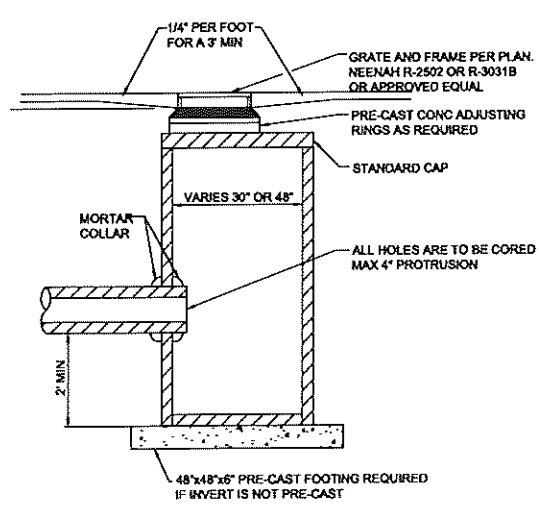
STANDARD PRE-CAST MANHOLE 8
NOT TO SCALE



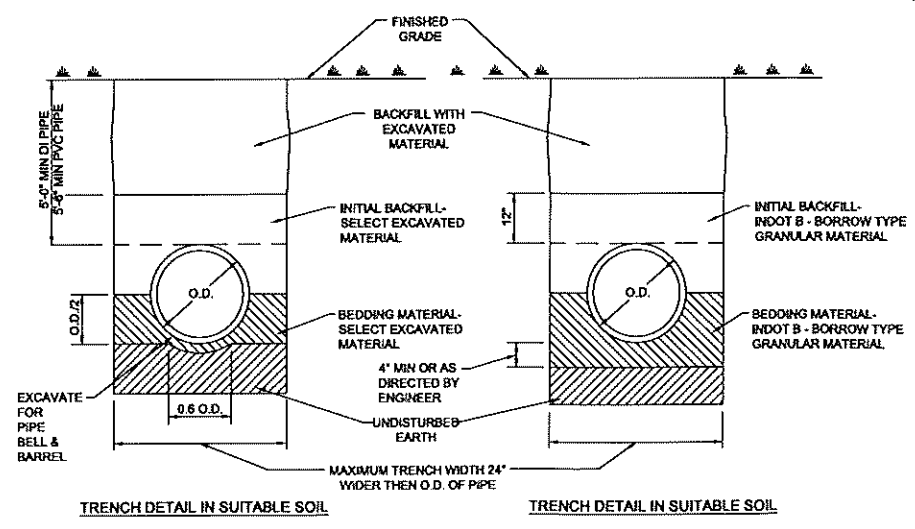
PRE-CAST DOG HOUSE MANHOLE 4
NOT TO SCALE



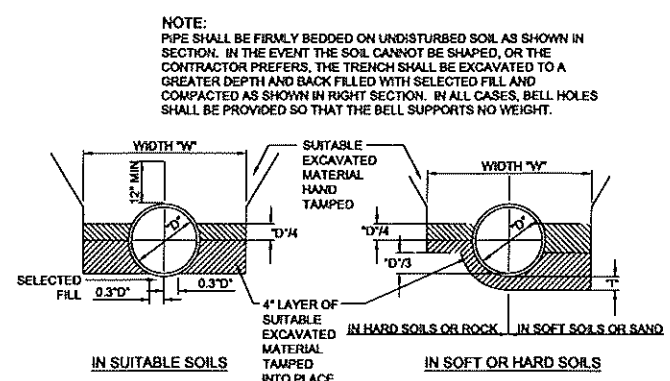
MANHOLE TOP FINISHING 1
NOT TO SCALE



STANDARD CATCH BASIN 11
NOT TO SCALE



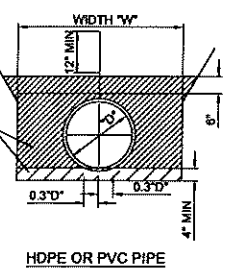
WATER MAIN BEDDING DETAIL 7
NOT TO SCALE



TYPICAL TRENCH, STORM & SANITARY PIPE LAYING AND BEDDING 2
NOT TO SCALE

MIN TRENCH WIDTH AT TOP OF PIPE	
DIAMETER	WIDTH
6"	18"
8"	24"
10"	30"
12"	36"
15"	42"
18"	48"
21"	54"
24"	60"
27"	66"
30"	72"
36"	84"
42"	96"
48"	108"

NOTE: ALL PVC PIPE SHALL BE INSTALLED FOLLOWING THE ASTM STANDARD PRACTICE D 2321-89.



File: \\projects\2024\proj\2024_0044\07_design\ENGIN\plans\SD102 - DETAILS.dwg
Saved By: jackson Date: 2024-03-30 11:53 AM

DATE	10/04/2024
BY	JTB
DESCRIPTION	MARTIN MARKETING FACILITY
REV	1

**JONES
PETRIE
RAFINSKI**
 Fort Wayne, IN
 P: 260.422.2522
 South Bend, IN
 P: 574.292.4388

PR
 AUTHORIZED REPRESENTATIVE
 No. LA21000018
 STATE OF INDIANA
 REGISTERED PROFESSIONAL ENGINEER
 0101726

MARTIN MARKETING FACILITY
DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA
SITE DETAILS II

DESIGNED BY:	JTB
REVIEWED BY:	AC
DRAWN BY:	JTB
REVIEWED BY:	CE

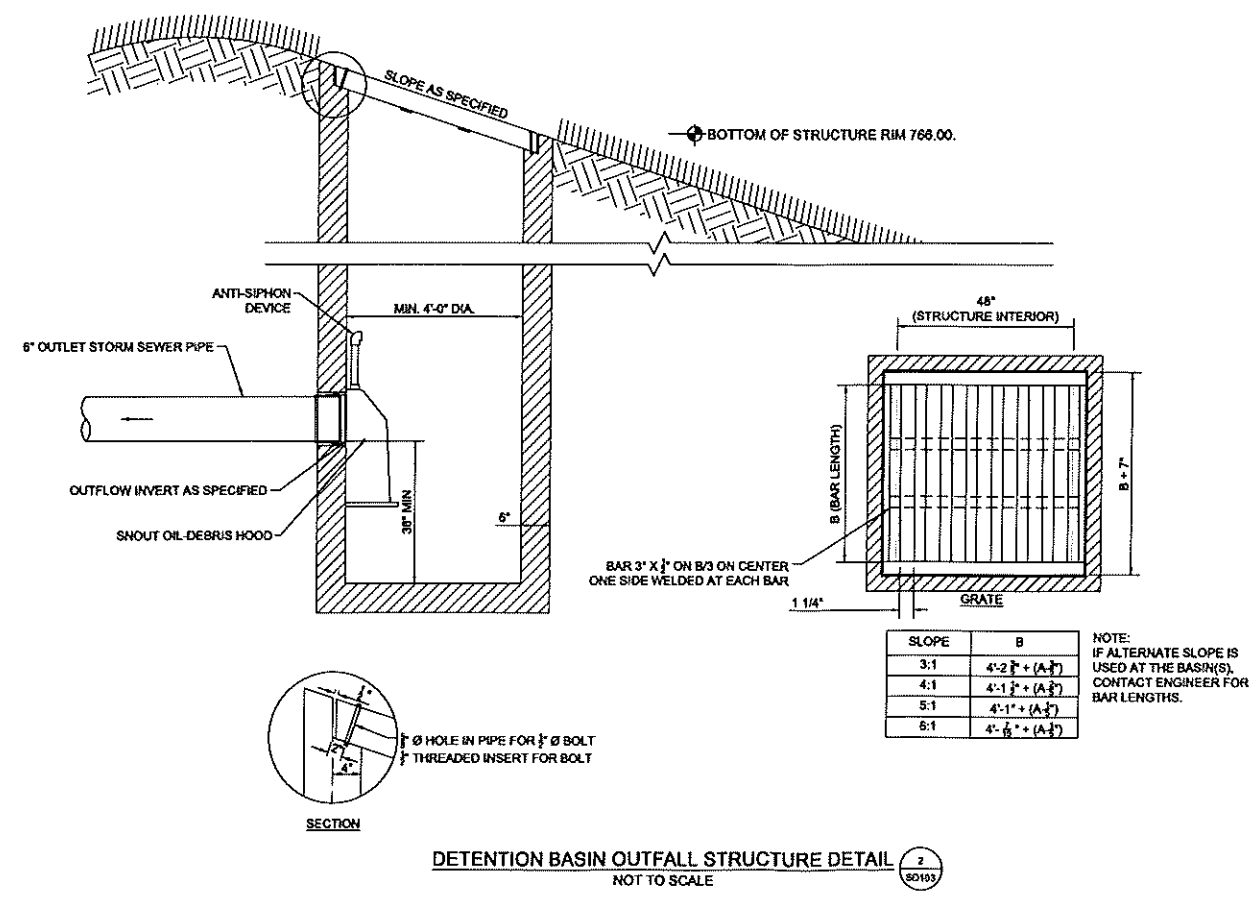
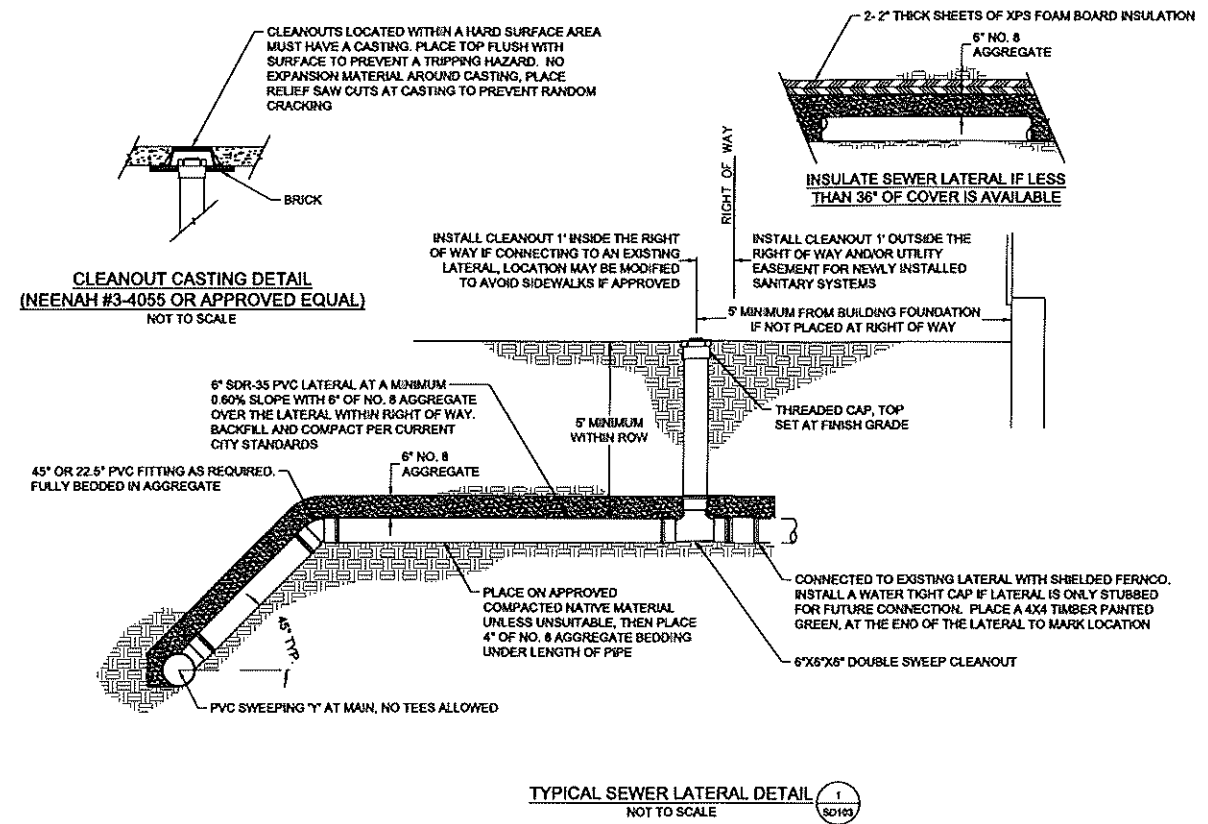
DATE: 10/04/2024

JOB NUMBER: 2024-0044

HORIZ. SCALE: AS SHOWN
VERTICAL SCALE: NONE

SD102

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 Saved By: jacobson Plotted: 2025-01-30 11:53 AM



DATE	
BY	
DESCRIPTION	
REV	

**JONES
 PETRIE
 RATINSKI**
 Fort Wayne, IN
 P: 260.422.2522

JR
 South Bend, IN
 P: 574.252.4986

REGISTERED PROFESSIONAL ENGINEER
 No. LA2100014
 STATE OF INDIANA
 01/21/25

MARTIN MARKETING FACILITY
 DJ CONSTRUCTION
 3414 ELKHART ROAD
 GOSHEN INDIANA

SITE DETAILS III

DESIGNED BY: JTB
 REVIEWED BY: AC
 DRAWN BY: JTB
 REVIEWED BY: CE

DATE: 10/04/2024
 JOB NUMBER: 2024-0044
 HORIZ. SCALE: AS SHOWN
 VERTICAL SCALE: NONE

SD103



Staff Report

Planning & Zoning

Petition: 25-FSP-02

Petition Type: Final Site Plan

Date: March 3, 2025

Petitioner: Danville Crossing LP and LaPorte Partners, LP

Site Location: 189 County Road 6 W

Request: As required by Section 20.10.B seeking approval for an Amendment to a Final Site Plan to allow for the construction of a drive-up window (west side of bldg.) and associated order menu board area (south side of bldg.) for a new restaurant user at 189 CR 6 W. Four (4) parking spaces will be removed as a part of this request.

Existing Zoning: PUD, Planned Unit Development

Size: +/- .87 acre

Thoroughfares: County Road 6

School District: Elkhart Community Schools

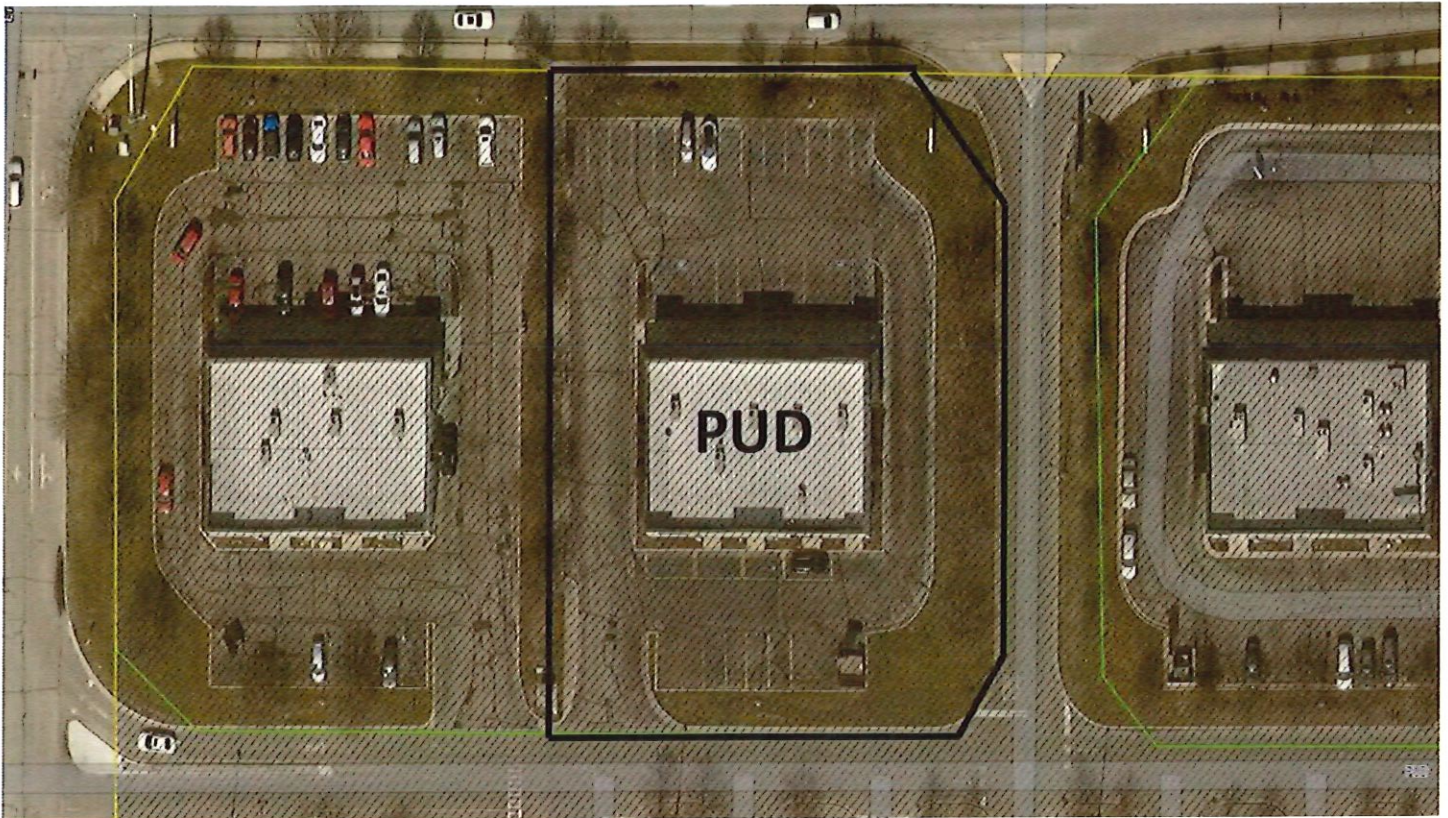
Utilities: Available and provided to site

Surrounding Land Use & Zoning:
The property is surrounded by commercial uses. The zoning is PUD.

Applicable Sections of the Zoning Ordinance:
Section 20.7.B – Final Site Plan

Comprehensive Plan:
The Comprehensive Plan calls for the land to be developed with commercial uses.

Plan Commission Action: Approval or denial of request – with or without any additional conditions



Staff Analysis

The petitioner owns a .87 acre outlet in the Walmart shopping center (Northfield Market PUD) development off County Road 6. The final site plan amendment requested is to add a drive-up window (west side of building) and an order menu board (south side of building) for a new tenant on the west end of the building. The new tenant is Tropical Smoothie Café. The plan calls for the removal of four (4) parking spaces to accommodate the order menu board. There are 33 parking spaces that currently serve the building.

The building is similar to two other built in the early 2000's that have each come back to the Plan Commission to amend the approved final site plan to add a drive up window. With the addition of the drive-up window, the parking lot was modified to accommodate the new building component.

The circulation for the site is as follows - traffic comes into the lot from the private drive on the south and orders are placed at the new order menu on the south face of the building. Traffic then proceeds counter clock wise around the east side of the building to the pick up window on the west with the existing parking on the other sides of the building being unaffected.

Staff was not provided information related to the duration for orders being completed or the typical time a customer waits to pick up an order. The drinks are seemingly made for each customer after ordering. Staff has concerns related to peak hour demand with traffic backing up into the private drive that runs behind the outlots that serves all of the development.

Recommendation

The Staff recommends approval of the final site plan based on the following findings of fact:

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community;
2. The proposed use is permitted within the underlying zoning of the Planned Unit Development;
3. The project has passed the City's Technical Review process;
4. The use conforms to the Comprehensive Plan which calls for commercial uses;
5. The proposed use should not be detrimental to the property values of adjacent properties.

Photos



Attachments

Petition, letter, site plan.

PETITION #: 25-FSP-08

FILING FEE: \$ 400.00

PETITION to the PLAN COMMISSION

PETITION TYPE: FINAL SITE PLAN

Property Owner(s): Danville Crossing, LP and La Porte Partners, LP
Mailing Address: 7625 N. University St., Suite C, Peoria, IL 61614
Phone #: [REDACTED] Email: [REDACTED]

Contact Person: STEVEN KOLBER (AGENT)
Mailing Address: 828 DAVIS ST. EVANSTON, IL 60201
Phone #: [REDACTED] Email: [REDACTED]

Subject Property Address: 189 COUNTY ROAD 6
Zoning: PUD - MIXED USE
Present Use: COMMERCIAL Proposed Use: COMMERCIAL

NOTE: The petitioner is the legal property owner of record, or a certified representative, and agrees the above information is accurate. Failure to provide a legal signature or accurate information will make this application null and void.

PROPERTY OWNER(S) OR REPRESENTATIVE (PRINT): Julie Waldschmidt
SIGNATURE(S): *Julie Waldschmidt* DATE: 1/31/25

STAFF USE ONLY:

Staff Checklist for the applicant's submittal of a complete Petition to the Plan Commission docket:

- A completed Petition form signed by the legal owner of record (or approved representative).
- If any person other than the legal owner or the legal owner's attorney files the appeal, written and signed authorization from the property owner must be supplied.
- A full and accurate legal description of the property.
- One to scale drawing of the property, measuring 11" x 17" or smaller. If larger than 11" x 17", 12 copies must be submitted.
- One copy of the Appeal Letter signed in ink by the owner (or representative) of the property. (Optional)
- Any other information listed in the Instructions and Filing Procedure for this type of Petition.

Ordinance Requirement: Section(s): _____

Map #: _____ Area: _____

RECEIVED BY: _____ DATE: _____



January 30th, 2025

Plan Commission
City of Elkhart
229 S 2nd St
Elkhart, IN 46516

Re: Tropical Smoothie Café Drive-Thru
189 W County Rd 6
Elkhart, IN 46514

Commissioners:

Please accept this correspondence as a narrative for the proposed project referenced above. We are looking to install a drive-thru lane for the Tropical Smoothie Café currently under construction.

As the site plan shows, the drive-thru lane begins at the rear of the building, with the menu board being located towards the southeast corner. Once placing an order, the guest will then navigate around the east side of the building and the front of the building to the pick-up lane, which will be located on the west side of the building where the Tropical Smoothie Cafe exists.

This will result in the removal of the four parallel parking spaces behind the building that currently exist for the initial ordering lane. We will be modifying the curb at the pick-up lane to allow cars to access the drive-thru window comfortably.

With this configuration, we feel that the drive-thru operation will not inhibit the regular flow of traffic and parking for the center. The separation of order lane and pick up lane allows for no queue backup for any of the existing front parking spaces.

If you have any questions, please contact me directly.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be "SK", with a long horizontal flourish extending to the right.

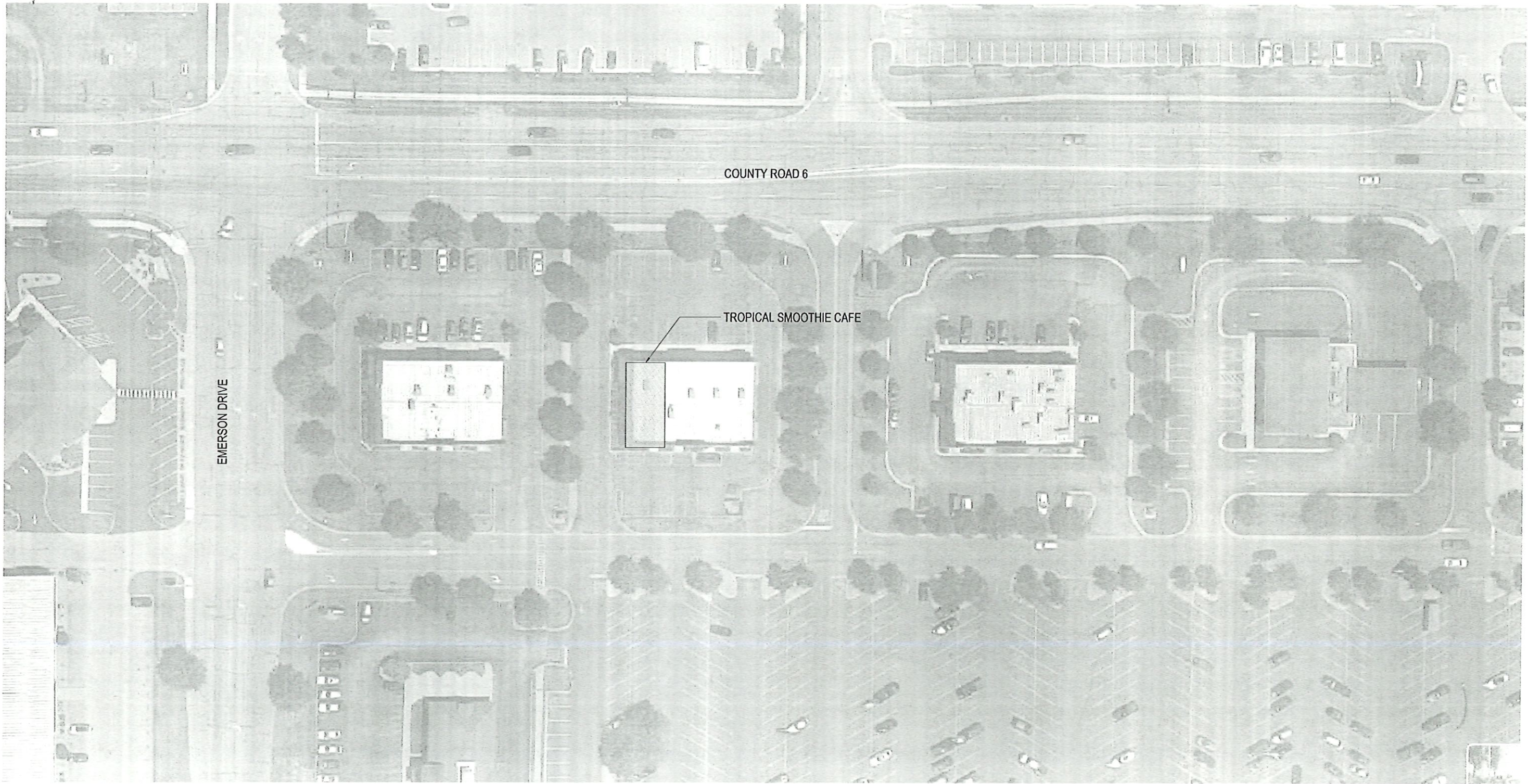
Steven Kolber - Agent
President / Principal
Kolbrook Design, Inc.

A handwritten signature in black ink, appearing to be "Julie Waldschmidt", written in a cursive style.

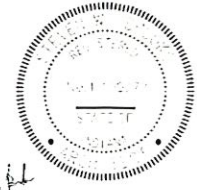
Julie Waldschmidt
Owner
Danville Crossings, LP
La Porte Partners, LP

828 Davis Street
Suite 300
Evanston, IL 60201

www.kolbrook.com



1 LOCATION MAP
 SCALE: NOT TO SCALE



ARCHITECT:
kolbrook design
 828 DAVIS STREET
 SUITE 300
 EVANSTON, IL 60201
 Ph 847.492.1992

PROJECT:
 TROPICAL SMOOTHIE CAFE DRIVE-TRHU
 189 COUNTY RD 6 W, ELKHART, IN 46514

Job No.
 1744.002
 Issue Date
 2025 01 30
 Store No.
 IN-048

OWNER:

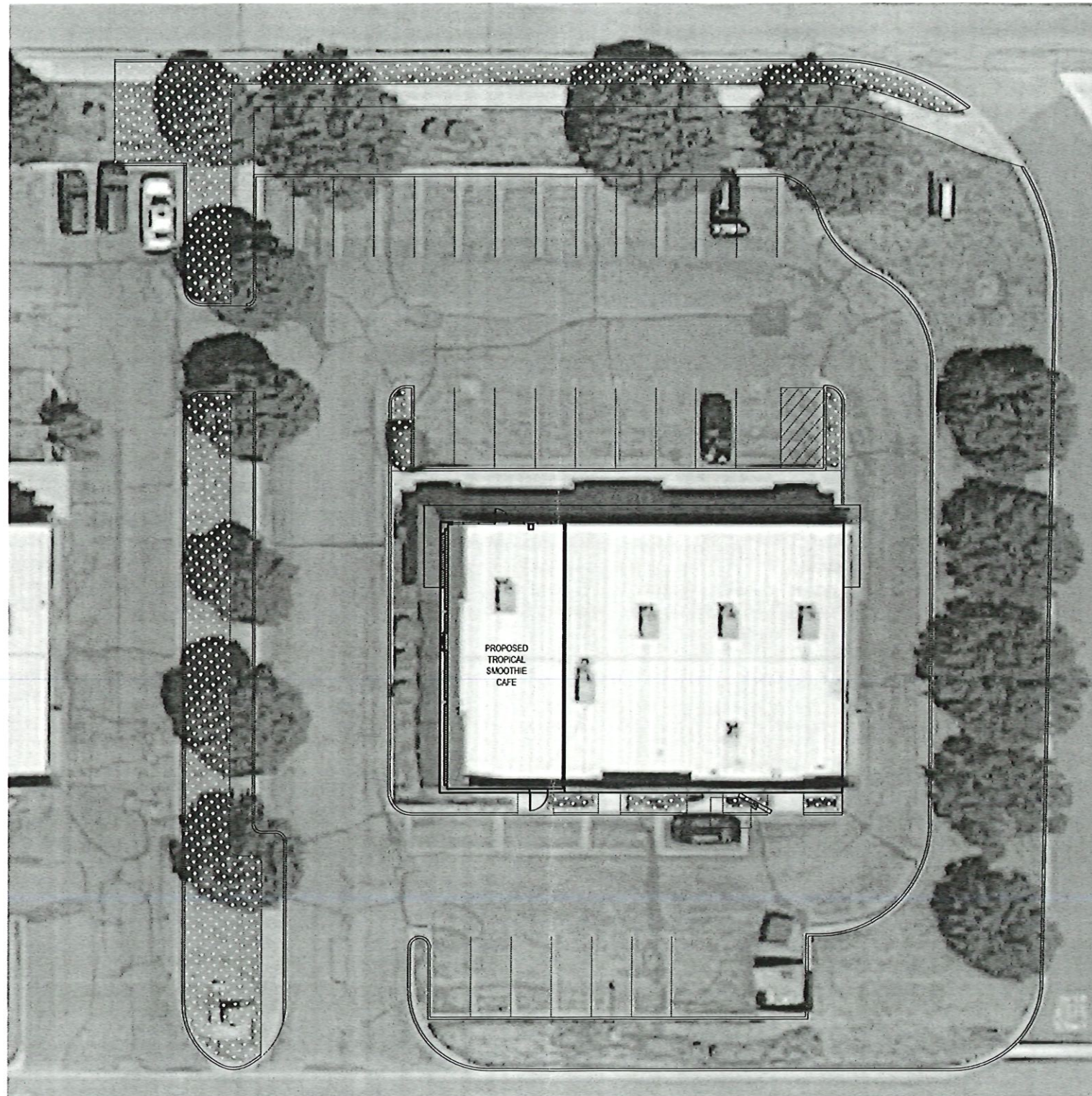
DANVILLE CROSSING & LAPORTE PARTNERS LP.
7625 N UNIVERSITY ST. SUITE C
PEORIA, IL 61614
JWALDSCHMIDT@WALDLAND.COM

TROPICAL SMOOTHIE CAFE FRANCHISE:

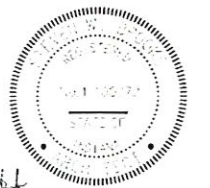
AMY POHLOD
1360 EDGEWOOD RD
BIRMINGHAM, MI 48009
AEMMFAMILYHOLDINGS@GMAIL.COM

ARCHITECT :

KOLBROOK DESIGN
828 DAVIS ST. SUITE 300
EVANSTON, IL 60201
SKOLBER@KOLBROOK.COM



1 EXISTING CONDITIONS
SCALE: 1"= 30'-0"



ARCHITECT:

kolbrook design

828 DAVIS STREET
SUITE 300
EVANSTON, IL 60201
Ph 847.492.1992

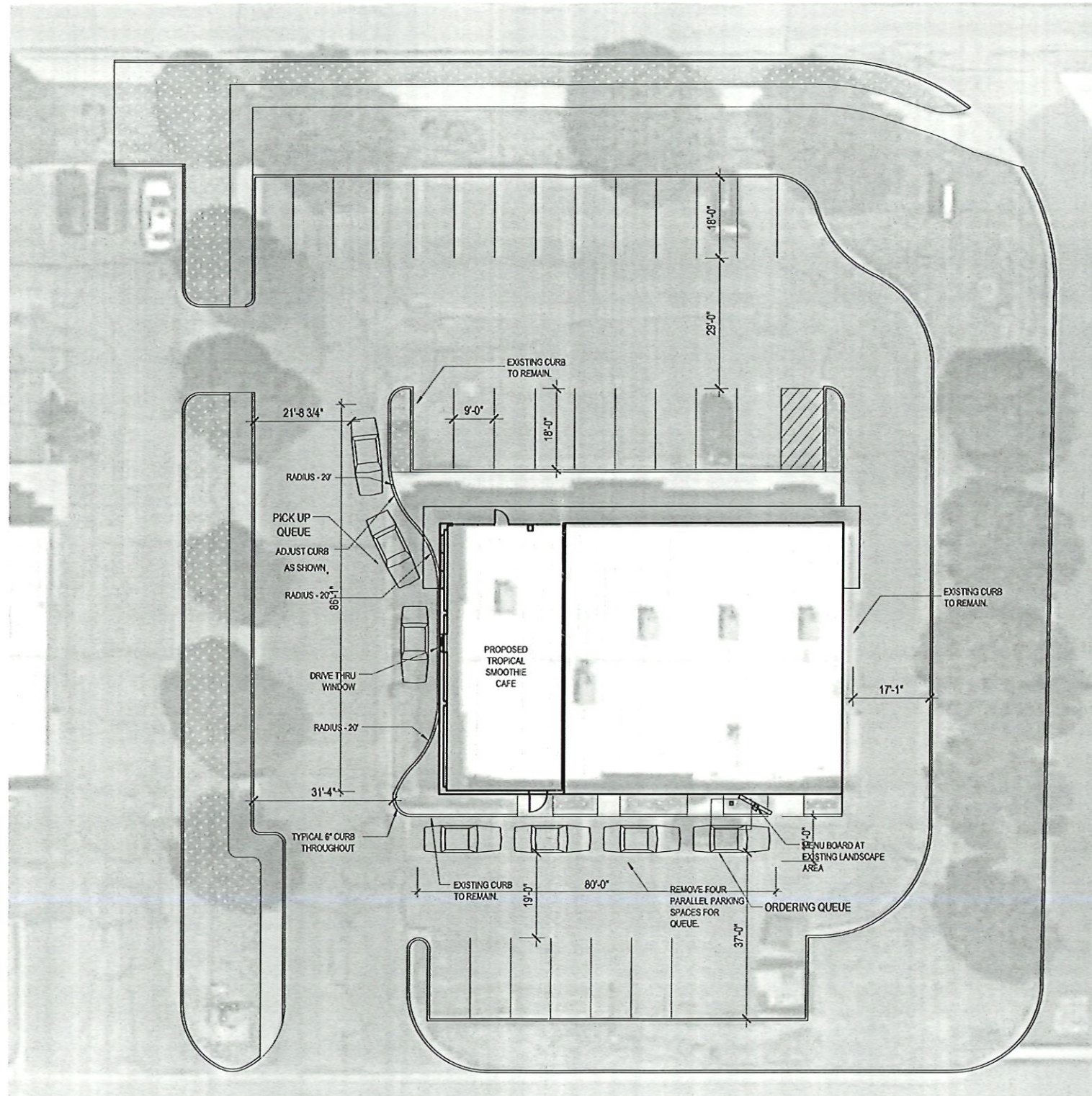
PROJECT:

TROPICAL SMOOTHIE CAFE DRIVE-TRHU
189 COUNTY RD 6 W, ELKHART, IN 46514

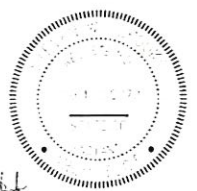
Job No.
1744.002

Issue Date
2025 01 30

Store No.
IN-048



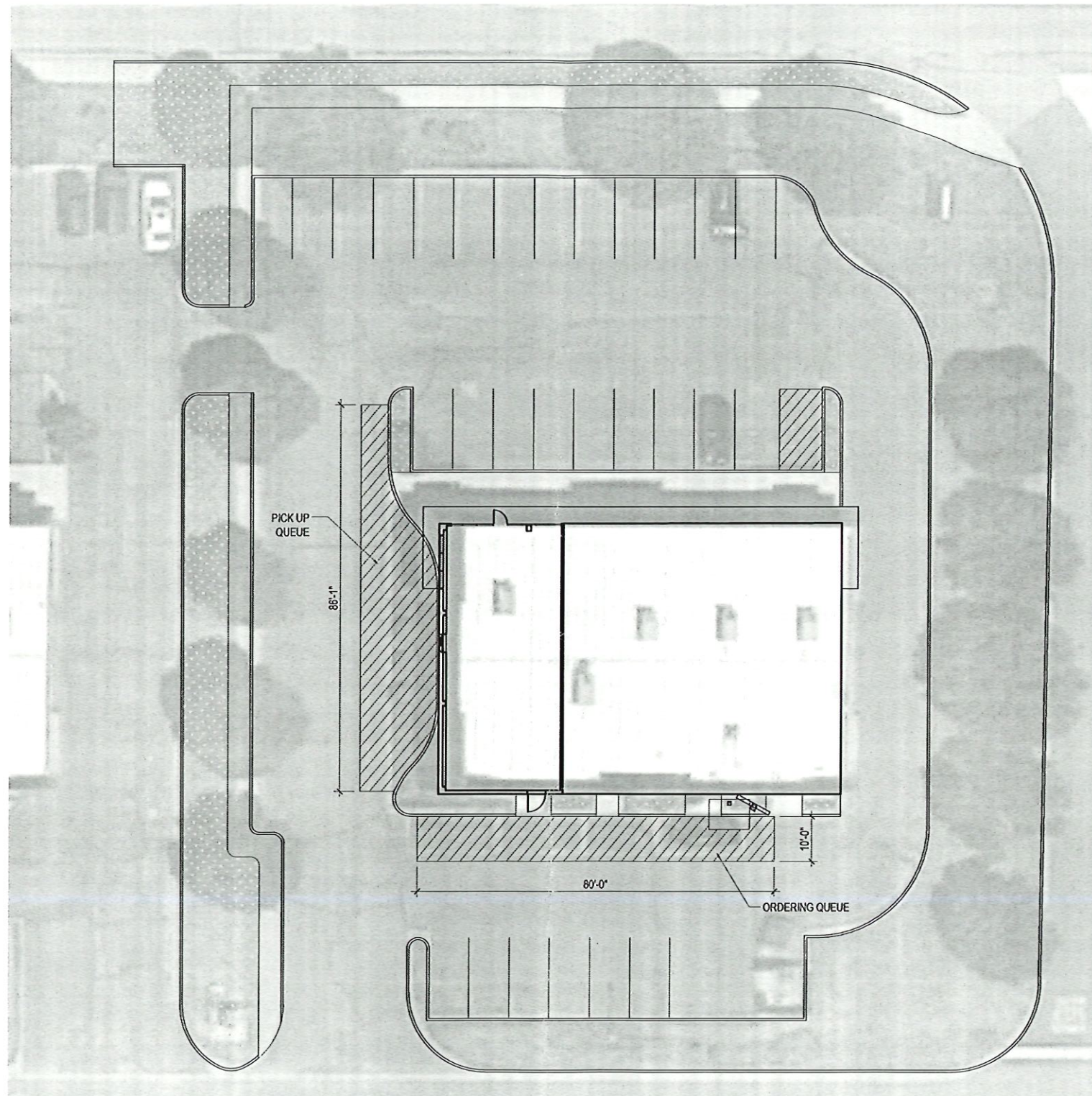
1 PROPOSED DRIVE THROUGH
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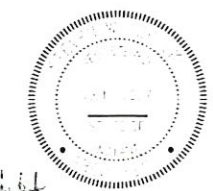
ARCHITECT:
kolbrook design
 828 DAVIS STREET
 SUITE 300
 EVANSTON, IL 60201
 Ph 847.492.1992

PROJECT:
 TROPICAL SMOOTHIE CAFE DRIVE-TRHU
 189 COUNTY RD 6 W, ELKHART, IN 46514

Job No.
 1744.002
 Issue Date
 2025 01 30
 Store No.
 IN-048



1 QUEUING STRIPING
SCALE: 1"= 30'-0"



ARCHITECT:

kolbrook design

828 DAVIS STREET
SUITE 300
EVANSTON, IL 60201
Ph 847.492.1992

PROJECT:

TROPICAL SMOOTHIE CAFE DRIVE-TRHU
189 COUNTY RD 6 W, ELKHART, IN 46514

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Store No.
IN-048